

Miami River Commission Meeting Minutes November 1, 2021

The Miami River Commission (MRC) public meeting convened at noon, November 1, 2021, RMK Merrill-Stevens, 1270 NW 11 ST, Miami, FL.

Miami River Commission (MRC) Policy Committee Members and/or Designees attending:

Horacio Stuart Aguirre, MRC Chairman
Patty Harris, designee for Governor
Eileen Higgins, Miami-Dade County Commissioner Eileen Higgins
Nancy Jackson, designee for Miami Dade County Commissioner
Jim Murley, designee for Miami-Dade County Mayor Cava
Megan Kelly, designee for City of Miami Mayor Francis Suarez
Philip Everingham, designee for Miami Marine Council
Neal Schafers, designee for Downtown Development Authority
Bruce Brown, Miami River Marine Group
John Michael Cornell, Designee for Luis Garcia
Tom Kimen, Neighborhood Representative appointed by City of Miami
Sallye Jude, Member at Large Appointed by Miami-Dade County

MRC Staff:

Brett Bibeau, Managing Director

Others attending interested in the River:

Sign in sheets available upon request.

I) Chair's Report

MRC Chairman Horacio Stuart Aguirre provided the following report:

I'm so pleased to welcome everyone to the recently modernized historic RMK Merrill-Stevens. I extend the Miami River Commission's appreciation to our gracious hosts. Before I turn over the floor for an exciting presentation and walking tour, a few quick items of business.

The Miami River Commission's October public meeting minutes were emailed a week in advance of today's meeting. We have a few copies here available if anyone needs them. Do I have a motion on the minutes?

The Miami River Commission's 2022 Calendar will be distributed next month. On behalf of the MRC, thank you to all our generous sponsors for renewing their annual support.

The Miami River Commission thanks Commissioner Higgins and the Board of County Commissioners for unanimously and wisely approving an increase of four County Marine Patrol Officers the City of Miami Commission for unanimously and likewise wisely approving an

increase of five City of Miami Marine Patrol Officers in their respective Fiscal Year 2021-2022 budgets. Together, along with United States Coast Guard and the Florida Fish and Wildlife Commission, they will enforce all laws in the Miami River, including the idle no-wake speed zone, in order to protect the threatened Manatee, shorelines, docks, and boats. I applaud Senator Ileana Garcia for expressing her strong support of, and meeting with various law enforcement agencies on the Miami River.

The Miami River Commission has been actively assisting the efforts of the City, County, State, and private sector to clean up the Miami River District. In addition to the maintenance professionals the MRC pays daily to remove litter, invasive plant species, graffiti and provide landscaping services along the Miami River, the MRC thanks the volunteers from Hands on Miami, whom on October 10 picked up garbage along the public Riverwalk in Curtis Park, and on October 24 picked up garbage along the Miami River's shoreline in Sewell Park.

II. Presentation and Tour of the Recently Modernized RMK Merrill Stevens

Brent Alisop, Operations Manager, RMK Merrill Stevens, provided a presentation regarding the Recently Modernized RMK Merrill Stevens. The distributed printed information stated:

“RMK Merrill-Stevens North is fully operational after massive renovations and upgrades. Among the upgrades is a 2,700LT shiplift built by Pearson Shiplift Corporation, which is capable of lifting out power catamarans and superyachts with a keel-to-keel distance of 36'. The lift, which is the largest shiplift with a full keel capture in South Florida, has the capacity to haul out monohull vessels with an LOA of 225', beam up to 54', and draft to 15'. The lift has received Lloyd's Register Certification and USCG Certification.

RMK Merrill-Stevens was Florida's first shipyard and has become one of the most diverse, capable, and updated shipyards in all of South Florida. Since 1885, the RMK Merrill-Stevens shipyard has served the owners, captains, and crews of yachts and superyachts from around the world the pride.”

Spencer Crowley, Florida Inland Navigation District, stated the Boat Show generates a \$1.9 billion economic impact while the Super Bowl generates a \$400 million economic impact. The Miami River's job generating marine industry provides lots of good paying jobs.

A tour was provided of the facility.

III. New Business

There was no new business.

The meeting adjourned.

Miami River Commission's Stormwater Subcommittee Public Virtual Workshop Minutes September 9, 2021

The Miami River Commission (MRC) Stormwater Subcommittee's public virtual workshop convened at 10 am, September 9, 2021. Attendees of the publicly noticed virtual workshop included Ely Estevez and Melissa Hew, City of Miami, MRC board member Patty Harris and MRC Managing Director Brett Bibeau.

I. "Miami River Basin Water Quality Improvement Plan" Agency Quarterly Implementation Progress Reports – Prior to the public workshop Mr. Omar Abdelrahman, Miami Dade County's Department of Environmental Resource Management's (DERM) submitted the following Miami River Basin Water Quality Improvement Plan's progress report.

January - March 2021 - The most alarming water quality violation was detected in February 2021 at Comfort Canal testing location 02 (CM02), where 694 (MPN/100ml) Enterococci Bacteria was found, while the clean water standard is only 130 (MPN/100ml).

In addition, Miami Dade County's Department of Environmental Resource Management's (DERM) quarterly Miami River Basin Water Quality Improvement Plan's progress reports include water quality samples taken at 4 locations on the Miami River, 3 locations on Wagner Creek, 1 location on Tamiami Canal, 1 location on Comfort Canal, and 4 locations in Biscayne Bay for Enterococci Bacteria, E. Coli, Ammonia Nitrogen, Total Phosphate, and turbidity, including 5-year tracking charts.

II. New Business – Director Bibeau thanked the City of Miami Commission which on May 27, 2021 approved agenda item PH.2, \$279,500 for stormwater filters. Ms. Estevez stated some of them will be installed along the Miami River.

Director Bibeau forwarded a Miami River resident report to the City of Miami which issued a NPDES Notice of Violation on the Miami River at 2507 NW 16 ST.

Director Bibeau forwarded a Miami River resident report to the City of Miami, which issued a NPDES Notice of Violation on the 836 construction project for causing severe turbidity in Seybold Canal, which then entered the Miami River.

The Miami River is officially and logically part of the designated Biscayne Bay Aquatic Preserve Act. Attendees discussed the recently appropriated \$10 million in State funds plus an additional \$10 million from the County to improve water quality in the Biscayne Bay Aquatic Preserve. Attendees agreed to try and have more details at the next SSC public virtual workshop.

The MRC SSC's next quarterly public virtual workshop will be January 5, 2022, 10 AM. The meeting adjourned.

PUBLIC DOCUMENT



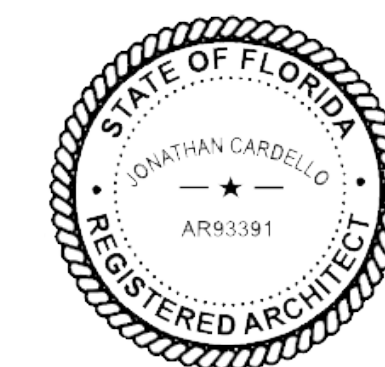
Miami River Commission

Riverside Wharf

114, 200, 236, 298 SW River Dr.
& 300 SW 2nd St.

Miami, Florida 33130

Submitted: 08 December 2021



Submitted to: City of Miami | Miami 21

Owner: **MV REAL ESTATE HOLDINGS LLC.**
Architect: **CUBE 3, LLC**
Landscape: **Savino & Miller**

Project Team

Owner:



MV Real Estate Holdings LLC
123 SW North River Drive
Miami, Florida 33130

Architect:



CUBE3, LLC
111 SW 3rd Street, Fourth Floor
Miami, Florida 33130
Contact: Jonathan W. Cardello
Telephone: 305.968.8527

Legal:



Greenberg Traurig
333 SE 2nd Avenue
Suite 4400
Miami, FL 33131

Landscape:



Savino & Miller Design Studio
12345 NE 6th Avenue
Suite A
Miami, FL 33161

General Notes

- At time of building permit, provide the required irrigation plan
- At time of building permit, comply with all UDRB conditions
- At time of building permit, provide proof of registration with the Green Building Certification Institute, or equal agency
- At time of building permit, provide a LEED Scorecard, or equivalent document, identifying anticipated credits to be achieved.

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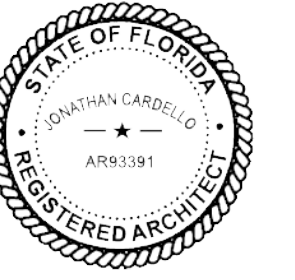
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RIVERSIDE WHARF
Miami, Florida

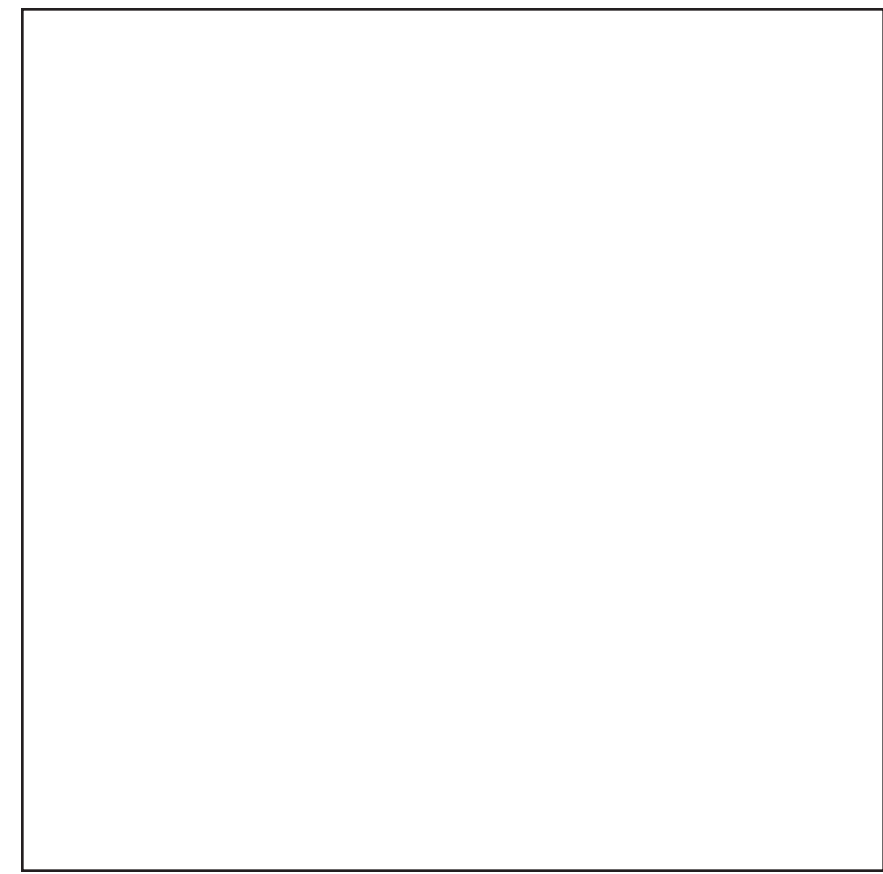
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MRC Submission
08 December 2021

A-00

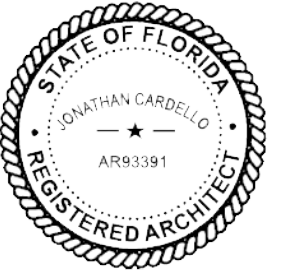
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**RIVERSIDE
WHARF**
Miami, Florida

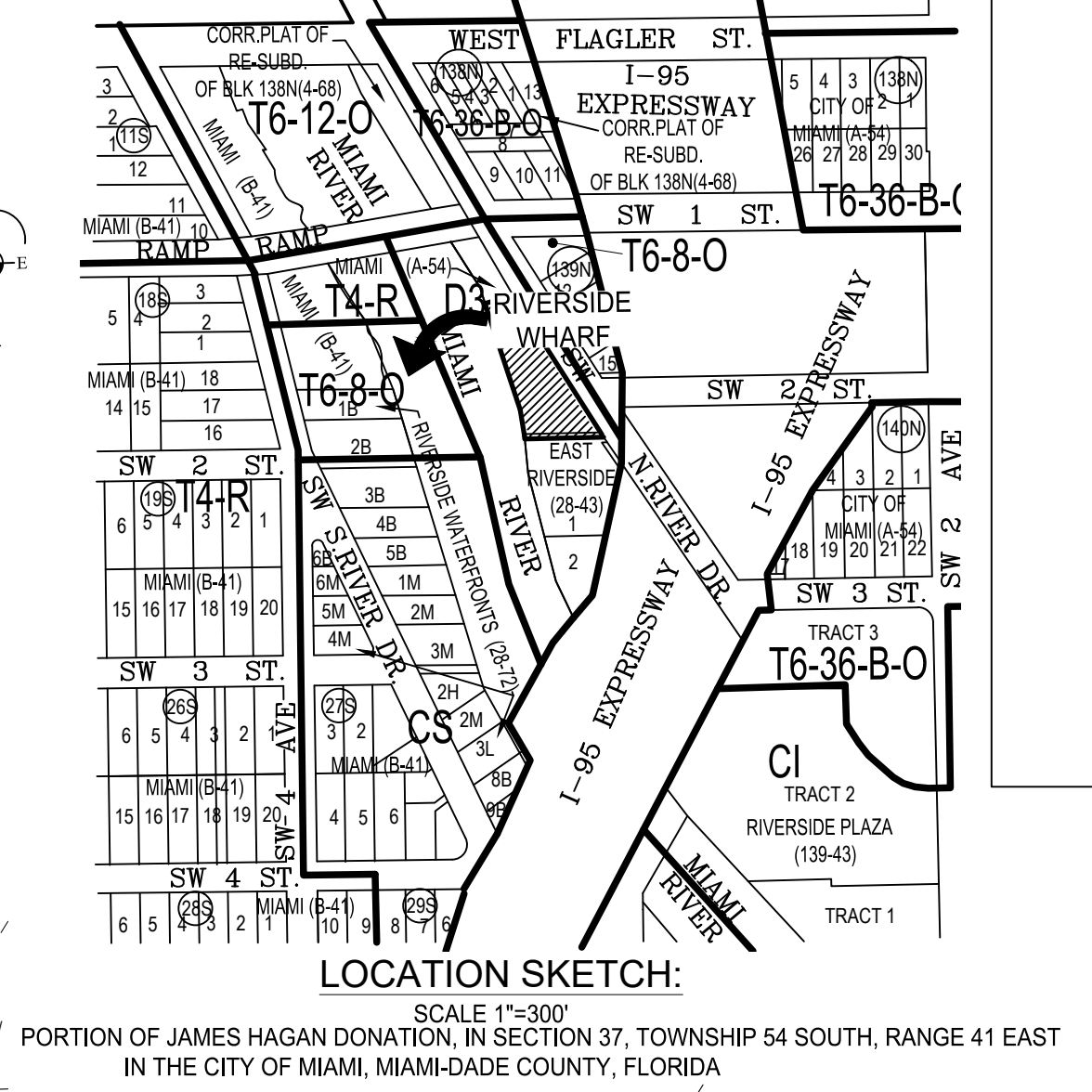
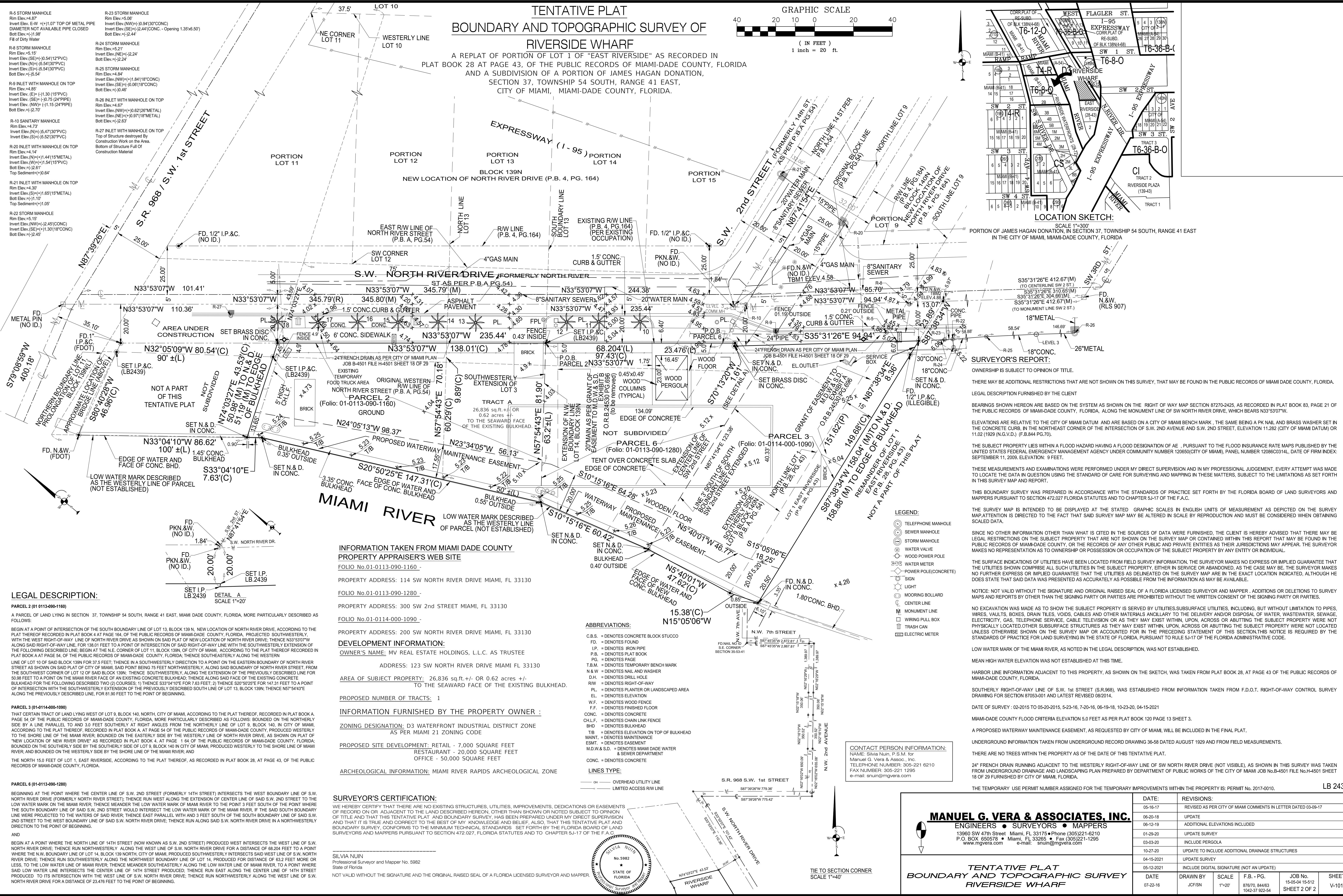
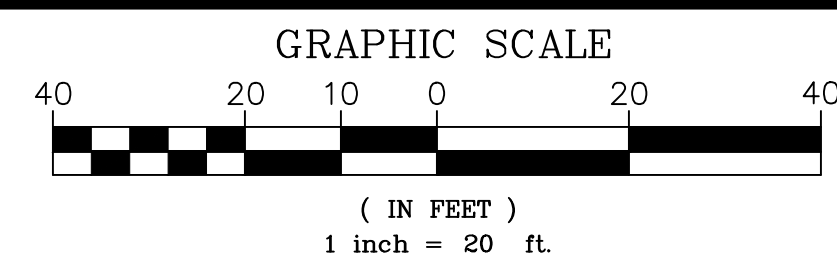
Site

MRC Submission
08 December 2021

G-00

TENTATIVE PLAT BOUNDARY AND TOPOGRAPHIC SURVEY OF RIVERSIDE WHARF

A REPLAT OF PORTION OF LOT 1 OF "EAST RIVERSIDE" AS RECORDED IN
PLAT BOOK 28 AT PAGE 43, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA
AND A SUBDIVISION OF A PORTION OF JAMES HAGAN DONATION,
SECTION 37, TOWNSHIP 54 SOUTH, RANGE 41 EAST,
CITY OF MIAMI, MIAMI-DADE COUNTY, FLORIDA.



SCALE 1"=300'
PORTION OF JAMES HAGAN DONATION, IN SECTION 37, TOWNSHIP 54 SOUTH, RANGE 41 EAST
IN THE CITY OF MIAMI, MIAMI-DADE COUNTY, FLORIDA

SURVEYOR'S REPORT:
OWNERSHIP IS SUBJECT TO OPINION OF TITLE.
THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY, THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.
LEGAL DESCRIPTION FURNISHED BY THE CLIENT
BEARINGS SHOWN HEREON ARE BASED ON THE SYSTEM AS SHOWN ON THE RIGHT OF WAY MAP SECTION 87270-2425, AS RECORDED IN PLAT BOOK 83, PAGE 21 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, ALONG THE MONUMENT LINE OF SW NORTH RIVER DRIVE, WHICH BEARS N33°53'07"W.
ELEVATIONS ARE RELATIVE TO THE CITY OF MIAMI DATUM AND ARE BASED ON A CITY OF MIAMI BENCH MARK, THE SAME BEING A P NAIL AND BRASS WASHER SET IN THE CONCRETE CURB, IN THE NORTHEAST CORNER OF THE INTERSECTION OF S.W. 2ND AVENUE AND S.W. 2ND STREET, ELEVATION 11.282 (CITY OF MIAMI DATUM) OR 11.022 (1929 (N.G.V.D.)). (F.B.844 PG.70).
THE SUBJECT PROPERTY LIES WITHIN A FLOOD HAZARD HAVING A FLOOD DESIGNATION OF AE, PURSUANT TO THE FLOOD INSURANCE RATE MAPS PUBLISHED BY THE UNITED STATES FEDERAL EMERGENCY MANAGEMENT AGENCY UNDER COMMUNITY NUMBER 120650(CITY OF MIAMI), PANEL NUMBER 120860314L, DATE OF FIRM INDEX: SEPTEMBER 11, 2009. ELEVATION: 9 FEET.
THESE MEASUREMENTS AND EXAMINATIONS WERE PERFORMED UNDER MY DIRECT SUPERVISION AND IN MY PROFESSIONAL JUDGEMENT, EVERY ATTEMPT WAS MADE TO LOCATE THE DATA IN QUESTION USING THE STANDARD OF CARE FOR SURVEYING AND MAPPING IN THESE MATTERS, SUBJECT TO THE LIMITATIONS AS SET FORTH IN THIS SURVEY MAP AND REPORT.
THIS BOUNDARY SURVEY WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS PURSUANT TO SECTION 472.027 FLORIDA STATUTES AND TO CHAPTER 5J-17 OF THE F.A.C.
THE SURVEY MAP IS INTENDED TO BE DISPLAYED AT THE STATED GRAPHIC SCALES IN ENGLISH UNITS OF MEASUREMENT AS DEPICTED ON THE SURVEY MAP. ATTENTION IS DIRECTED TO THE FACT THAT SAID SURVEY MAP MAY BE ALTERED IN SCALE BY REPRODUCTION AND MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.
SINCE NO OTHER INFORMATION OTHER THAN WHAT IS CITED IN THE SOURCES OF DATA WERE FURNISHED, THE CLIENT IS HEREBY ADVISED THAT THERE MAY BE LEGAL RESTRICTIONS ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THE SURVEY MAP OR CONTAINED WITHIN THIS REPORT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, OR THE RECORDS OF ANY OTHER PUBLIC AND PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY APPEAR. THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP OR POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.
THE SURFACE INDICATIONS OF UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, THE SURVEYOR MAKES NO EXPRESS OR IMPLIED GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE SUBJECT PROPERTY, EITHER IN SERVICE OR ABANDONED, AS THE CASE MAY BE. THE SURVEYOR MAKES NO FURTHER EXPRESS OR IMPLIED GUARANTEE THAT THE UTILITIES AS DELINEATED ON THE SURVEY MAP ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES STATE THAT SAID DATA WAS PRESENTED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AS MAY BE AVAILABLE.
NOTICE: NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS AND REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
NO EXCAVATION WAS MADE AS TO SHOW THE SUBJECT PROPERTY IS SERVED BY UTILITIES, SUBSURFACE UTILITIES, INCLUDING, BUT WITHOUT LIMITATION TO PIPES, WIRES, VAULTS, BOXES, DRAIN TILES, VOIDS, CABLES AND OTHER MATERIALS ANXILARY TO THE DELIVERY AND/OR DISPOSAL OF WATER, WASTEWATER, SEWAGE, ELECTRICITY, GAS, TELEPHONE SERVICE, CABLE TELEVISION OR AS THEY MAY EXIST WITHIN, UPON, ACROSS OR ABUTTING THE SUBJECT PROPERTY WERE NOT PHYSICALLY LOCATED. OTHER SUBSURFACE STRUCTURES AS THEY MAY EXIST WITHIN, UPON, ACROSS OR ABUTTING THE SUBJECT PROPERTY WERE NOT LOCATED UNLESS OTHERWISE SHOWN ON THE SURVEY MAP OR ACCOUNTED FOR IN THE PRECEDING STATEMENT OF THIS SECTION. THIS NOTICE IS REQUIRED BY THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA, PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.
LOW WATER MARK OF THE MIAMI RIVER, AS NOTED IN THE LEGAL DESCRIPTION, WAS NOT ESTABLISHED.
MEAN HIGH WATER ELEVATION WAS NOT ESTABLISHED AT THIS TIME.
HARBOR LINE INFORMATION ADJACENT TO THIS PROPERTY, AS SHOWN ON THE SKETCH, WAS TAKEN FROM PLAT BOOK 28, AT PAGE 43 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
SOUTHERLY RIGHT-OF-WAY LINE OF S.W. 1ST STREET (S.R.968), WAS ESTABLISHED FROM INFORMATION TAKEN FROM F.D.O.T. RIGHT-OF-WAY CONTROL SURVEY DRAWING FOR SECTION 87053-001 AND LATEST REVISION 08/20/14.
DATE OF SURVEY : 02-2015 TO 05-2015, 5-23-16, 7-20-16, 06-19-18, 10-23-20, 04-15-2021
MIAMI-DADE COUNTY FLOOD CRITERIA ELEVATION 5.0 FEET AS PER PLAT BOOK 120 PAGE 13 SHEET 3.
A PROPOSED WATERWAY MAINTENANCE EASEMENT, AS REQUESTED BY CITY OF MIAMI, WILL BE INCLUDED IN THE FINAL PLAT.
UNDERGROUND INFORMATION TAKEN FROM UNDERGROUND RECORD DRAWING 36-58 DATED AUGUST 1929 AND FROM FIELD MEASUREMENTS.
THERE ARE NO TREES WITHIN THE PROPERTY AS OF THE DATE OF THIS TENTATIVE PLAT.
24" FRENCH DRAIN RUNNING ADJACENT TO THE WESTERLY RIGHT-OF-WAY LINE OF SW NORTH RIVER DRIVE (NOT VISIBLE), AS SHOWN IN THIS SURVEY WAS TAKEN FROM UNDERGROUND DRAINAGE AND LANDSCAPING PLAN PREPARED BY DEPARTMENT OF PUBLIC WORKS OF THE CITY OF MIAMI JOB No.8-4501 FILE No.H-4501 SHEET 18 OF 29 FURNISHED BY THE CITY OF MIAMI, FLORIDA.
THE TEMPORARY USE PERMIT NUMBER ASSIGNED FOR THE TEMPORARY IMPROVEMENTS WITHIN THE PROPERTY IS: PERMIT No. 2017-0010.

LEGAL DESCRIPTION:
PARCEL 2 (01-0113-090-1160)
A PARCEL OF LAND LYING IN SECTION 37, TOWNSHIP 54 SOUTH, RANGE 41 EAST, MIAMI DADE COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT A POINT OF INTERSECTION OF THE SOUTH BOUNDARY LINE OF LOT 13, BLOCK 139 N, NEW LOCATION OF NORTH RIVER DRIVE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 4 AT PAGE 164, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, PROJECTED SOUTHWESTERLY, WITH THE WEST RIGHT-OF-WAY LINE OF NORTH RIVER DRIVE AS SHOWN ON SAID PLAT OF NEW LOCATION OF NORTH RIVER DRIVE; THENCE N33°53'07"W ALONG SAID RIGHT-OF-WAY LINE, FOR 138.01 FEET TO A POINT OF INTERSECTION OF SAID RIGHT-OF-WAY LINE WITH THE SOUTHWESTERLY EXTENSION OF THE FOLLOWING DESCRIBED LINE, BEGIN AT THE N.E. CORNER OF LOT 11, BLOCK 139N, OF CITY OF MIAMI, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK A AT PAGE 54, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE SOUTHEASTERLY ALONG THE WESTERN LINE OF LOT 10 OF SAID BLOCK 139N FOR 37.5 FEET; THENCE IN A SOUTHWESTERLY DIRECTION TO A POINT ON THE EASTERN BOUNDARY OF NORTH RIVER STREET AS SHOWN ON SAID PLAT OF CITY OF MIAMI, SAID POINT BEING 75 FEET NORTHWESTERLY, ALONG SAID BOUNDARY OF NORTH RIVER STREET, FROM THE SOUTHWEST CORNER OF LOT 12 OF SAID BLOCK 139N; THENCE SOUTHWESTERLY, ALONG THE EXTENSION OF THE PREVIOUSLY DESCRIBED LINE FOR 50.98 FEET TO A POINT ON THE MIAMI RIVER FACE OF AN EXISTING CONCRETE BULKHEAD; THENCE ALONG SAID FACE OF THE EXISTING CONCRETE BULKHEAD FOR THE FOLLOWING DESCRIBED TWO (2) COURSES, 1) THENCE S33°04'10"E FOR 7.63 FEET; 2) THENCE S20°50'25"E FOR 147.31 FEET TO A POINT OF INTERSECTION WITH THE SOUTHWESTERLY EXTENSION OF THE PREVIOUSLY DESCRIBED SOUTH LINE OF LOT 13, BLOCK 139N; THENCE N57°54'43"E ALONG THE PREVIOUSLY DESCRIBED LINE, FOR 81.90 FEET TO THE POINT OF BEGINNING.

PARCEL 3 (01-0114-000-1090)
THAT CERTAIN TRACT OF LAND LYING WEST OF LOT 9, BLOCK 140, NORTH, CITY OF MIAMI, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK A, PAGE 54 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BOUNDED ON THE NORTHERLY SIDE BY A LINE PARALLEL TO AND 3.0 FEET SOUTHERLY AT RIGHT ANGLES FROM THE NORTHERLY LINE OF LOT 9, BLOCK 140, IN CITY OF MIAMI, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK A, AT PAGE 54 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, PRODUCED WESTERLY TO THE SHORE LINE OF THE MIAMI RIVER; BOUNDED ON THE EASTERLY SIDE BY THE WESTERLY LINE OF NORTH RIVER DRIVE, AS SHOWN ON PLAT OF "NEW LOCATION OF NORTH RIVER DRIVE" AS RECORDED IN PLAT BOOK 4, AT PAGE 164 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; BOUNDED ON THE SOUTHERLY SIDE BY THE SOUTHERLY SIDE OF LOT 9, BLOCK 140 IN CITY OF MIAMI, PRODUCED WESTERLY TO THE SHORE LINE OF MIAMI RIVER; AND BOUNDED ON THE WESTERLY SIDE BY THE SHORE LINE OF THE MIAMI RIVER; AND

THE NORTH 15.0 FEET OF LOT 1, EAST RIVERSIDE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 28, AT PAGE 43, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PARCEL 6 (01-0113-090-1280)
BEGINNING AT THE POINT WHERE THE CENTER LINE OF S.W. 2ND STREET (FORMERLY 14TH STREET) INTERSECTS THE WEST BOUNDARY LINE OF S.W. NORTH RIVER DRIVE (FORMERLY NORTH RIVER STREET); THENCE RUN WEST ALONG THE EXTENSION OF CENTER LINE OF SAID S.W. 2ND STREET TO THE LOW WATER MARK ON THE MIAMI RIVER; THENCE MEASUR THE LOW WATER MARK OF MIAMI RIVER TO THE POINT 3 FEET SOUTH OF THE POINT WHERE THE SOUTH BOUNDARY LINE OF SAID S.W. 2ND STREET WOULD INTERSECT THE LOW WATER MARK OF THE MIAMI RIVER, IF THE SAID SOUTH BOUNDARY LINE WERE PROJECTED TO THE WATERS OF SAID RIVER; THENCE EAST PARALLEL WITH AND 3 FEET SOUTH OF THE SOUTH BOUNDARY LINE OF SAID S.W. 2ND STREET TO THE WEST BOUNDARY LINE OF SAID S.W. NORTH RIVER DRIVE; THENCE RUN ALONG SAID S.W. NORTH RIVER DRIVE IN A NORTHWESTERLY DIRECTION TO THE POINT OF BEGINNING.

AND

BEGIN AT A POINT WHERE THE NORTH LINE OF 14TH STREET (NOW KNOWN AS S.W. 2ND STREET) PRODUCED WEST INTERSECTS THE WEST LINE OF S.W. NORTH RIVER DRIVE; THENCE RUN NORTHWESTERLY ALONG THE WEST LINE OF S.W. NORTH RIVER DRIVE FOR A DISTANCE OF 88.204 FEET TO A POINT WHERE THE N.W. BOUNDARY LINE OF LOT 14, BLOCK 139 NORTH, CITY OF MIAMI, PRODUCED SOUTHWESTERLY INTERSECTS SAID WEST LINE OF S.W. NORTH RIVER DRIVE; THENCE RUN SOUTHWESTERLY ALONG THE NORTHWEST BOUNDARY LINE OF LOT 14, PRODUCED FOR DISTANCE OF 63.2 FEET MORE OR LESS, TO THE LOW WATER LINE OF MIAMI RIVER; THENCE MEASUR SOUTHEASTERLY ALONG THE LOW WATER LINE OF MIAMI RIVER, TO A POINT WHERE SAID LOW WATER LINE INTERSECTS THE CENTER LINE OF 14TH STREET PRODUCED; THENCE RUN EAST ALONG THE CENTER LINE OF 14TH STREET PRODUCED, TO ITS INTERSECTION WITH THE WEST LINE OF S.W. NORTH RIVER DRIVE; THENCE RUN NORTHWESTERLY ALONG THE WEST LINE OF S.W. NORTH RIVER DRIVE FOR A DISTANCE OF 23.476 FEET TO THE POINT OF BEGINNING.

INFORMATION TAKEN FROM MIAMI DADE COUNTY PROPERTY APPRAISER'S WEB SITE
FOLIO No.01-0113-090-1160 -
PROPERTY ADDRESS: 114 SW NORTH RIVER DRIVE MIAMI, FL 33130
FOLIO No.01-0113-090-1280 -
PROPERTY ADDRESS: 300 SW 2nd STREET MIAMI, FL 33130
FOLIO No.01-0114-000-1090 -
PROPERTY ADDRESS: 200 SW NORTH RIVER DRIVE MIAMI, FL 33130

DEVELOPMENT INFORMATION:
OWNER'S NAME: MV REAL ESTATE HOLDINGS, L.L.C. AS TRUSTEE
ADDRESS: 123 SW NORTH RIVER DRIVE MIAMI FL 33130
AREA OF SUBJECT PROPERTY: 26,836 sq.ft. +/- OR 0.62 acres +/-
TO THE SEAWARD FACE OF THE EXISTING BULKHEAD.

PROPOSED NUMBER OF TRACTS: 1

INFORMATION FURNISHED BY THE PROPERTY OWNER :
ZONING DESIGNATION: P3 WATERFRONT INDUSTRIAL DISTRICT ZONE AS PER MIAMI 21 ZONING CODE
PROPOSED SITE DEVELOPMENT: RETAIL - 7,000 SQUARE FEET
RESTAURANT - 20,000 SQUARE FEET
OFFICE - 50,000 SQUARE FEET

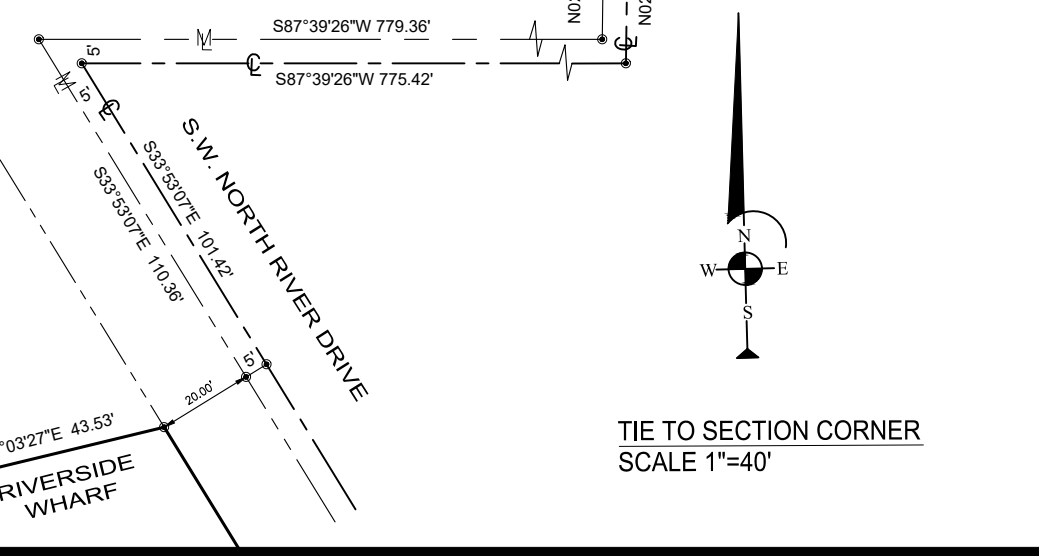
ARCHEOLOGICAL INFORMATION: MIAMI RIVER RAPIDS ARCHEOLOGICAL ZONE

ABBREVIATIONS:
C.B.S. = DENOTES CONCRETE BLOCK STUCCO
FD. = DENOTES FOUND
I.P. = DENOTES IRON PIPE
P.B. = DENOTES PLAT BOOK
PG. = DENOTES PAGE
T.B.M. = DENOTES TEMPORARY BENCH MARK
N & W = DENOTES NAIL AND WASHER
D.H. = DENOTES DRILL HOLE
R.W. = DENOTES RIGHT-OF-WAY
PL. = DENOTES PLANTER OR LANDSCAPED AREA
EL. = DENOTES ELEVATION
W.F. = DENOTES WOOD FENCE
F.F. = DENOTES FINISHED FLOOR
CONC. = DENOTES CONCRETE
CH.L.F. = DENOTES CHAIN LINK FENCE
B.H.D. = DENOTES BULKHEAD
TIB. = DENOTES ELEVATION ON TOP OF BULKHEAD
MAINT. = DENOTES MAINTENANCE
ESMT. = DENOTES EASEMENT
M.D.W.& S.D. = DENOTES MIAMI DADE WATER & SEWER DEPARTMENT
CONC. = DENOTES CONCRETE

LINES TYPE:
OH = OVERHEAD UTILITY LINE
LA = LIMITED ACCESS RW LINE

SURVEYOR'S CERTIFICATION:
WE HEREBY CERTIFY THAT THERE ARE NO EXISTING STRUCTURES, UTILITIES, IMPROVEMENTS, DEDICATIONS OR EASEMENTS OF RECORD ON OR ADJACENT TO THE LAND DESCRIBED HEREON, OTHER THAN SHOWN OR NOTED SUBJECT TO OPINION OF TITLE AND THAT THIS TENTATIVE PLAT AND BOUNDARY SURVEY, HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, ALSO, THAT THIS TENTATIVE PLAT AND BOUNDARY SURVEY, CONFORMS TO THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND TO CHAPTER 5J-17 OF THE F.A.C.

SILVIA NUJN
Professional Surveyor and Mapper No. 5982
State of Florida
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.



- LEGEND:**
- ☉ TELEPHONE MANHOLE
 - ⊙ SEWER MANHOLE
 - ⊙ STORM MANHOLE
 - ⊙ WATER VALVE
 - ⊙ WOOD POLE POLE
 - ⊙ WATER METER
 - ⊙ POWER POLE/CONCRETE
 - ⊙ SIGN
 - ⊙ LIGHT
 - ⊙ MOORING BOLLARD
 - ⊙ CENTER LINE
 - ⊙ MONUMENT LINE
 - ⊙ WIRING PULL BOX
 - ⊙ TRASH CAN
 - ⊙ ELECTRIC METER

CONTACT PERSON INFORMATION:
NAME: Silvia Nujn, P.E. for Manuel G. Vera & Assoc., Inc.
TELEPHONE NUMBER: 305-221-6210
FAX NUMBER: 305-221-1295
e-mail: snujn@mgvera.com

MANUEL G. VERA & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • MAPPERS
13960 SW 47th Street Miami, FL 33175 • Phone (305)221-6210
P.O. BOX 650978 • Miami, FL 33265 • Fax (305)221-1295
www.mgvera.com e-mail: snujn@mgvera.com

DATE	REVISIONS:				
05-16-17	REVISIONS: PER CITY OF MIAMI COMMENTS IN LETTER DATED 03-06-17				
06-20-18	UPDATE				
06-12-19	ADDITIONAL ELEVATIONS INCLUDED				
01-29-20	UPDATE SURVEY				
03-03-20	INCLUDE PERGOLA				
10-27-20	UPDATE TO INCLUDE ADDITIONAL DRAINAGE STRUCTURES				
04-15-2021	UPDATE SURVEY				
05-12-2021	INCLUDE DIGITAL SIGNATURE (NOT AN UPDATE)				
DATE	DRAWN BY	SCALE	F.B. - PG.	JOB No.	SHEET
07-22-16	JCF/SH	1"=20'	87670, 84483, 1042-37, 922-54	15-05-04 15-512	V-101

LB 2439

BOUNDARY SURVEY

LEGAL DESCRIPTION:

LOT 1, LESS THE NORTH 15 FEET, OF EAST RIVERSIDE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 28, PAGE 43, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA

AND
 LOT 2, EXCEPT THE SOUTH 57.6 FEET OF EAST RIVERSIDE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 28, AT PAGE 43, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; LESS RIGHT OF WAY OF STATE ROAD NO. 9, ACCORDING TO RIGHT OF WAY MAP IN PLAT BOOK 83, PAGE 21 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA AND LESS BEGIN AT THE NORTH LINE OF SAID LOT 2, AT A POINT 115.06 FEET NORTH 87°43'34" EAST FROM THE NORTHWEST CORNER THEREOF, THENCE NORTH 87°43'34" EAST 109.25 FEET ALONG THE NORTH LINE OF SAID LOT 2 TO THE NORTHEASTERLY CORNER THEREOF, THENCE SOUTH 35°31'26" EAST 122.57 FEET ALONG THE NORTHEASTERLY LINE OF SAID LOT 2, THENCE SOUTH 87°43'34" WEST 203.70 FEET, THENCE NORTH 12°36'47" EAST 106.07 FEET TO THE POINT OF BEGINNING.

CONTAINING 31,917.82 SQ. FT. OR 0.73 ACRES +/-.

ADDRESS OF PROPERTY: 236/298/300 SW North River Drive

SURVEYOR'S REPORT:

OWNERSHIP IS SUBJECT TO OPINION OF TITLE.

EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.

THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY, THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

THIS BOUNDARY SURVEY WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS PURSUANT TO SECTION 472.027 FLORIDA STATUTES AND TO CHAPTER 5F-17 OF THE F.A.C.

LEGAL DESCRIPTION TAKEN FROM WARRANTY DEED IN O.R.B. 9004-1353 AND O.R.B. 9211-0069. LEGAL DESCRIPTION OF LESS OUT PORTION TO THE SOUTH SHOWS A DISTANCE OF 57.6 FEET (O.R.B. 9211-0069). THE DEED FOR THAT PORTION TO THE SOUTH SHOWS SAID DISTANCE AS 57 1/2 FEET (O.R.B. 19224-2387), AS SHOWN IN OUR SURVEY.

BEARINGS SHOWN HEREON ARE BASED ON THE SYSTEM AS SHOWN ON THE RIGHT OF WAY MAP SECTION 87270-2425, AS RECORDED IN PLAT BOOK 83, PAGE 21 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, ALONG THE MONUMENT LINE OF SW NORTH RIVER DRIVE, WHICH BEARS 535°31'26"E.

ELEVATIONS ARE RELATIVE TO THE CITY OF MIAMI DATUM AND ARE BASED ON A CITY OF MIAMI BENCH MARK, THE SAME BEING A PK NAIL AND BRASS WASHER SET IN THE CONCRETE CURB, IN THE NORTHEAST CORNER OF THE INTERSECTION OF S.W. 2ND AVENUE AND S.W. 2ND STREET, ELEVATION 11.282 (CITY OF MIAMI DATUM) OR 11.02 (1929 (N.G.V.D.)) (F.B. 84 PG.70).

THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE AE, ELEVATION 9 FEET, PURSUANT TO THE FLOOD INSURANCE RATE MAPS PUBLISHED BY THE UNITED STATES FEDERAL EMERGENCY MANAGEMENT AGENCY UNDER COMMUNITY NUMBER 120630 UNINCORPORATED AREAS, CITY OF MIAMI, PANEL NO. 12086C0314L, DATED SEPTEMBER 11, 2009.

THESE MEASUREMENTS AND EXAMINATIONS WERE PERFORMED UNDER MY DIRECT SUPERVISION AND IN MY PROFESSIONAL JUDGEMENT, EVERY ATTEMPT WAS MADE TO LOCATE THE DATA IN QUESTION USING THE STANDARD OF CARE FOR SURVEYING AND MAPPING IN THESE MATTERS, SUBJECT TO THE LIMITATIONS AS SET FORTH IN THIS SURVEY MAP AND REPORT.

THE SURVEY MAP IS INTENDED TO BE DISPLAYED AT THE STATED GRAPHIC SCALES IN ENGLISH UNITS OF MEASUREMENT AS DEPICTED ON THE SURVEY MAP ATTENTION IS DIRECTED TO THE FACT THAT SAID SURVEY MAP MAY BE ALTERED IN SCALE BY REPRODUCTION AND MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

SINCE NO OTHER INFORMATION OTHER THAN WHAT IS CITED IN THE SOURCES OF DATA WERE FURNISHED, THE CLIENT IS HEREBY ADVISED THAT THERE MAY BE LEGAL RESTRICTIONS ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THE SURVEY MAP OR CONTAINED WITHIN THIS REPORT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, OR THE RECORDS OF ANY OTHER PUBLIC AND PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY APPEAR. THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP OR POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

NO EXCAVATION WAS MADE AS TO SHOW THE SUBJECT PROPERTY IS SERVED BY UTILITIES SUBSURFACE UTILITIES, INCLUDING, BUT WITHOUT LIMITATION TO PIPES, WIRES, VAULTS, BOXES, DRAIN TILES, VOIDS, CABLES AND OTHER MATERIALS ANCILLARY TO THE DELIVERY AND/OR DISPOSAL OF WATER, WASTEWATER, SEWAGE, ELECTRICITY, GAS, TELEPHONE SERVICE, CABLE TELEVISION OR AS THEY MAY EXIST WITHIN, UPON, ACROSS OR ABUTTING THE SUBJECT PROPERTY WERE NOT PHYSICALLY LOCATED OTHER SUBSURFACE STRUCTURES AS THEY MAY EXIST WITHIN, UPON, ACROSS OR ABUTTING THE SUBJECT PROPERTY WERE NOT LOCATED UNLESS OTHERWISE SHOWN ON THE SURVEY MAP OR ACCOUNTED FOR IN THE PRECEDING STATEMENT OF THIS SECTION THIS NOTICE IS REQUIRED BY THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA," PURSUANT TO RULE 5F-17 OF THE FLORIDA ADMINISTRATIVE CODE.

DISPOSITION TABLE INCLUDED IN THIS SURVEY WAS PREPARED BY ARBORIST, FURNISHED BY THE CLIENT AND INCLUDED HEREON AS REQUESTED.

DATE OF SURVEY: 05/20/2019, 10/15/2020, 11/18/2020

DISPOSITION TABLE

236 SW N. RIVER DRIVE, MIAMI FL 33130

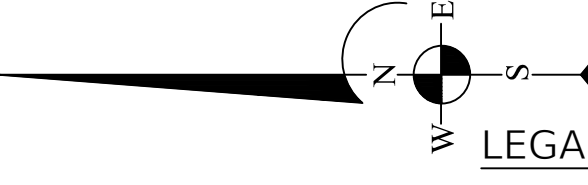
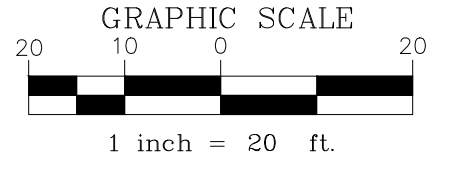
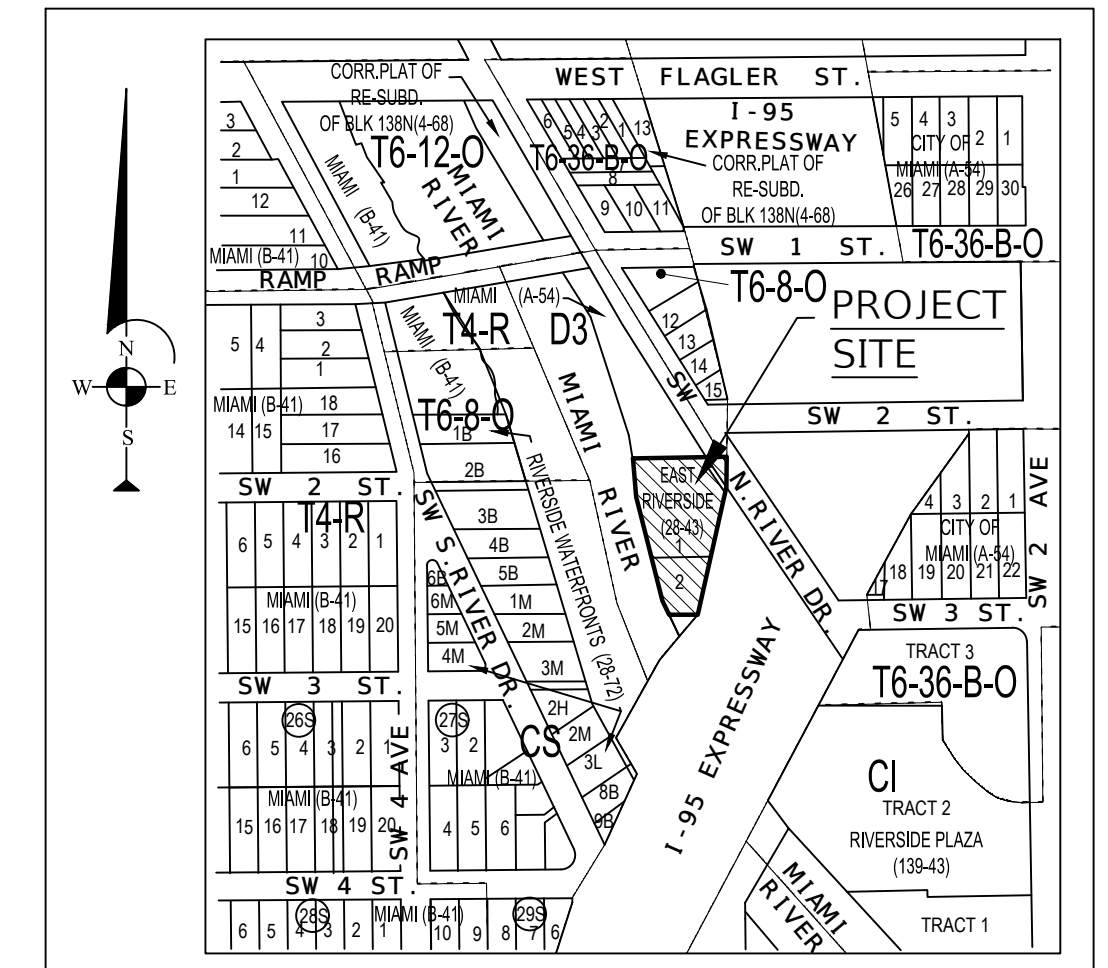
No.	BOTANICAL NAME	COMMON NAME	DBH (inch)	HEIGHT (ft)	SPREAD (ft)	Condition	CRZ (ft)	TPZ (ft)	Disposition	Notes
1	<i>Leucaena leucocephala</i>	River Tamarind	9	30	35	Poor	NA	NA	Remove	Prohibited species
2	<i>Ficus aurea</i>	Strangler Fig	29	30	45	Poor/hazard	NA	NA	Remove	Hazard - significant decay in trunk and canopy
3	<i>Schinus terebinthifolia</i>	Brazilian Pepper	7	18	20	Poor	NA	NA	Remove	Prohibited species
4	<i>Schinus terebinthifolia</i>	Brazilian Pepper	14	20	20	Poor	NA	NA	Remove	Prohibited species
5	<i>Schinus terebinthifolia</i>	Brazilian Pepper	10	12	12	Poor	NA	NA	Remove	Prohibited species
6	<i>Schinus terebinthifolia</i>	Brazilian Pepper	7	25	25	Poor	NA	NA	Remove	Prohibited species
7	<i>Leucaena leucocephala</i>	River Tamarind	7	15	15	Poor	NA	NA	Remove	Prohibited species
8	<i>Ficus benjamina</i>	Weeping Fig	11	25	25	Fair	NA	NA	Remove	Prohibited species
9	<i>Leucaena leucocephala</i>	River Tamarind	5	15	12	Fair	NA	NA	Remove	Prohibited species
10	<i>Cocos nucifera</i>	Coconut	8	15	10	Fair	3	3	Remain	Street tree
11	<i>Swietenia mahogany</i>	Mahogany	12	30	30	Fair	10	10	Remain	Street tree
12	<i>Swietenia mahogany</i>	Mahogany	14	35	40	Fair	12	12	Remain	Street tree
13	<i>Swietenia mahogany</i>	Mahogany	12	20	30	Poor-Fair	10	10	Remain	Street tree
14	<i>Swietenia mahogany</i>	Mahogany	16	35	40	Fair	12	12	Remain	Street tree
15	<i>Swietenia mahogany</i>	Mahogany	14	30	40	Fair	12	12	Remain	Street tree
16	<i>Swietenia mahogany</i>	Mahogany	7	25	20	Poor	10	10	Remain	Street tree
17	<i>Swietenia mahogany</i>	Mahogany	13	40	40	Fair	12	12	Remain	Street tree
18	<i>Swietenia mahogany</i>	Mahogany	11	35	35	Fair	10	10	Remain	Street tree

LEGEND:

- ⊕ WATER VALVE
- ⊕ WATER VALVE
- ⊕ TELEPHONE MANHOLE
- ⊕ SINGLE SUPPORT SIGN
- ⊕ MANHOLE (UNKNOWN)
- ⊕ POWER POLE
- ⊕ POWER POLE
- ⊕ CENTER LINE
- ⊕ MONUMENT LINE
- ⊕ SANITARY MANHOLE
- ⊕ ELEVATION

LINE TYPE:

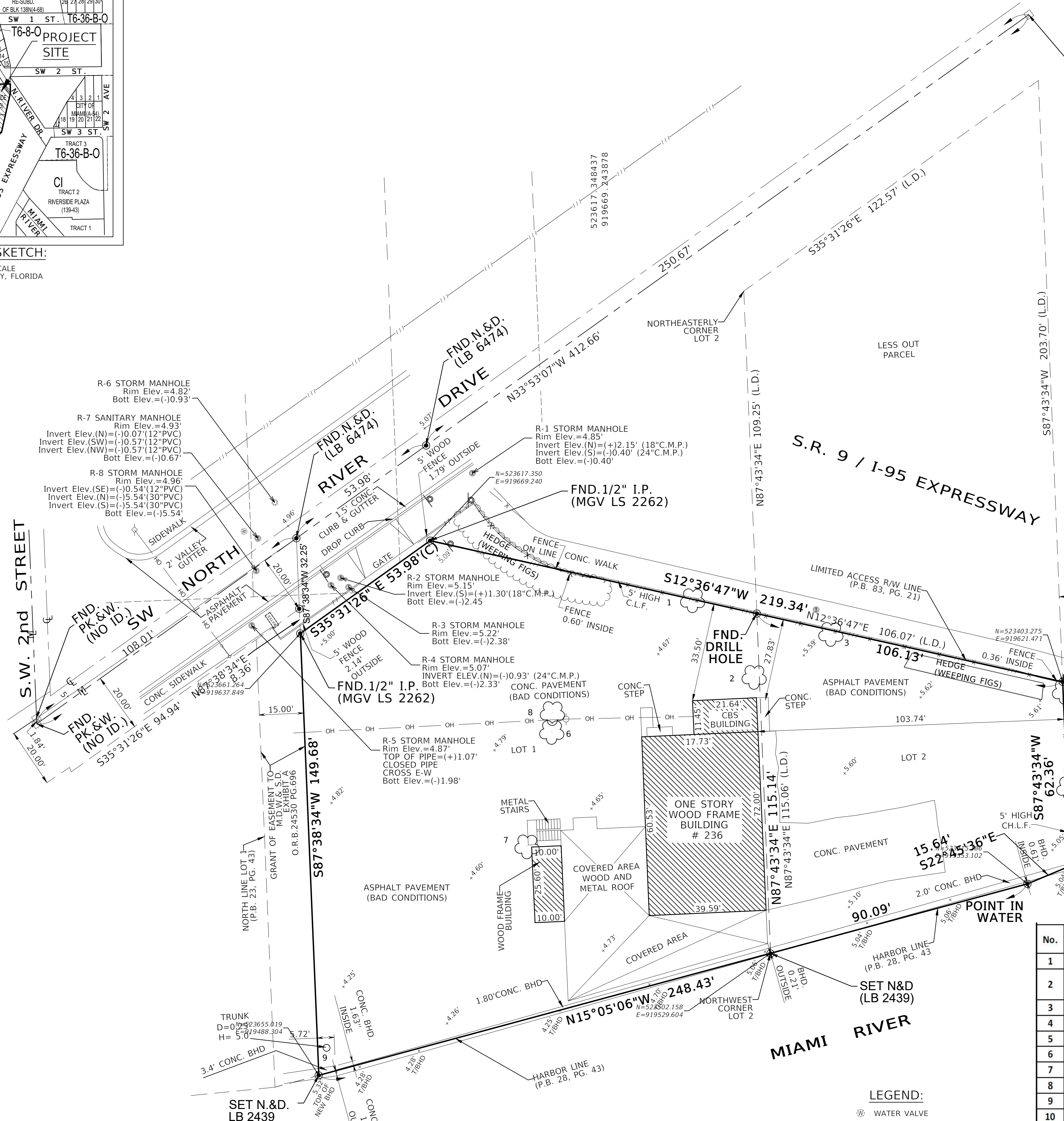
- LOT LINE
- LIMITED ACCESS R/W LINE
- OVERHEAD LINE
- CHAIN LINK FENCE
- CENTER LINE
- RIGHT OF WAY LINE



ABBREVIATIONS:

- CMP = CORRUGATED METAL PIPE
- PVC = POLYMERIZING VINYL CHLORIDE
- C.B.S. = CONCRETE BLOCK STUCCO
- FND. = FOUND
- I.D. = IDENTIFICATION
- I.P. = IRON PIPE
- NSD = NAIL & DISC
- PK. = PARKER KALON
- T.B.M. = TEMPORARY BENCH MARK
- N & W = NAIL AND WASHER
- D.H. = DRILL HOLE
- PL. = PLANTER OR LANDSCAPED AREA
- W.F. = WOOD FENCE
- F.F. = FINISHED FLOOR
- BHD = BULKHEAD
- T/BHD = ELEVATION ON TOP OF BULKHEAD
- MAINT. = MAINTENANCE
- ESMT. = EASEMENT
- M.D.W. & S.D. = MIAMI DADE WATER & SEWER DEPARTMENT
- BOTT. = BOTTOM
- P.B. = PLAT BOOK
- PG. = PAGE
- ELEV. = ELEVATION
- LB. = LICENSED BUSINESS
- N.T.S. = NOT TO SCALE
- PSM = PROFESSIONAL SURVEYOR & MAPPER
- CONC. = CONCRETE
- SWK = SIDEWALK
- R/W = RIGHT-OF-WAY
- C.L.F. = CHAIN LINK FENCE
- N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- (D) = DEED
- (C) = CALCULATED
- (L.D.) = LEGAL DESCRIPTION
- O.R.B. = OFFICIAL RECORDS BOOK

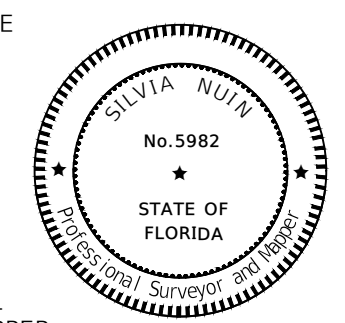
FOR TREES 10-18
SEE SHEET 2



CERTIFICATION:

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY WAS PREPARED UNDER MY DIRECT SUPERVISION AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SILVIA NUIN PSM No. 5982
 MANUEL G. VERA & ASSOCIATES INC. L.B.2439
 STATE OF FLORIDA



NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

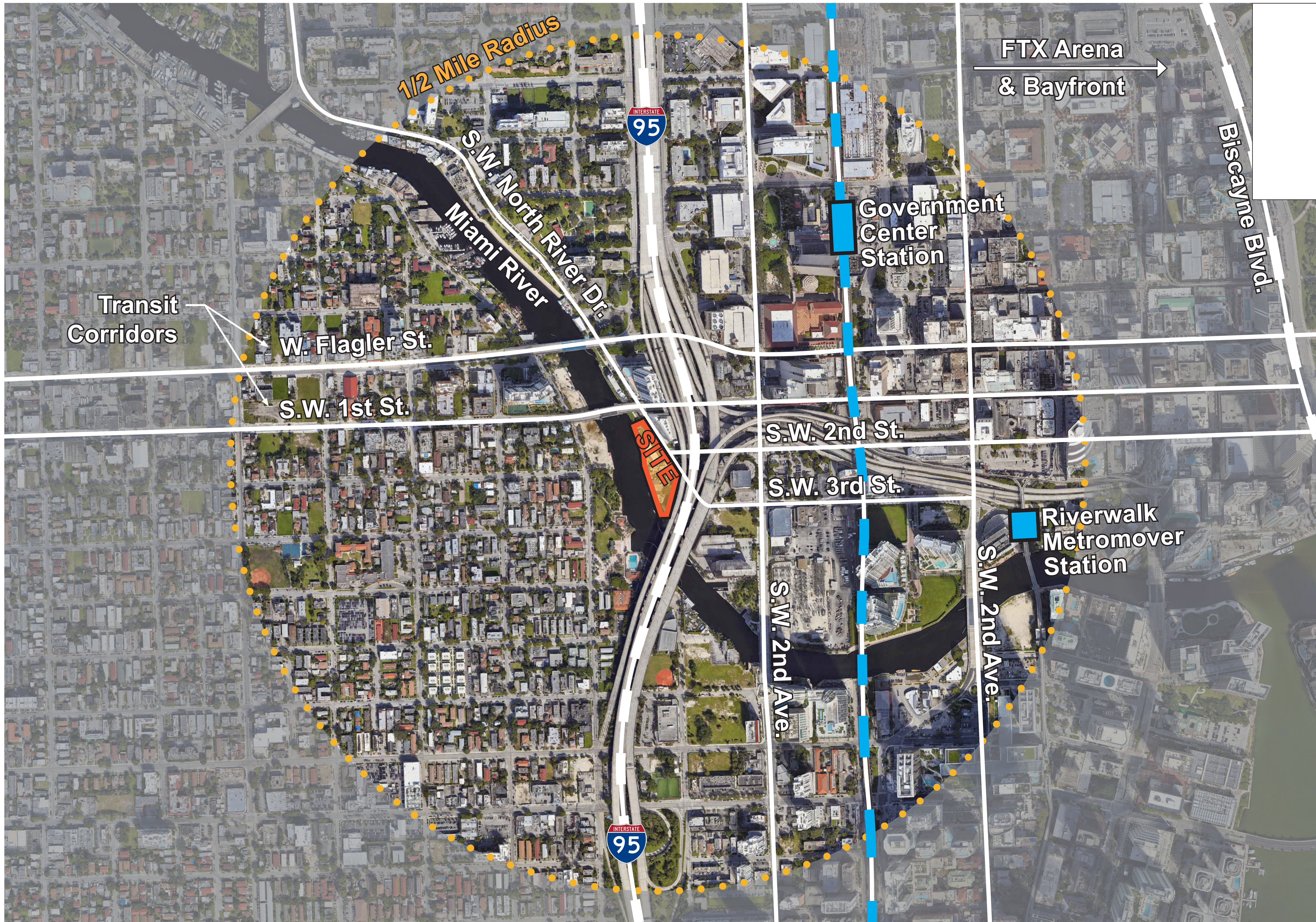
SHEET 2 OF 2

DATE: 05/21/2019
 FIELD BOOK: 997-28
 DESIGN NO.: 19-05-06
 DRAWN BY: A.R.
 CHECKER: S.N.
 SCALE: 1" = 20'

UPDATE SURVEY
 10/19/2020
 11/19/2020
 05/12/2021

BOUNDARY SURVEY
 of
 PORTION OF LOT 1 & 2.
 P.B. 28, PG. 43
 CITY OF MIAMI, FLORIDA

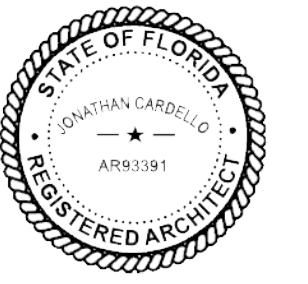
MANUEL G. VERA & ASSOCIATES, INC.
 ENGINEERS • SURVEYORS • MAPPERS
 13960 SW 47th Street • Miami, FL 33175 • Phone (305)221-6210
 P.O. BOX 650578 • Miami, FL 33265 • Fax (305)221-1295
 • www.mgvera.com



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 Miami, Florida 33133
 License No. L18000278579

Jonathan W. Cardello, AIA
 FL License No. AR93391



RIVERSIDE WHARF
 Miami, Florida

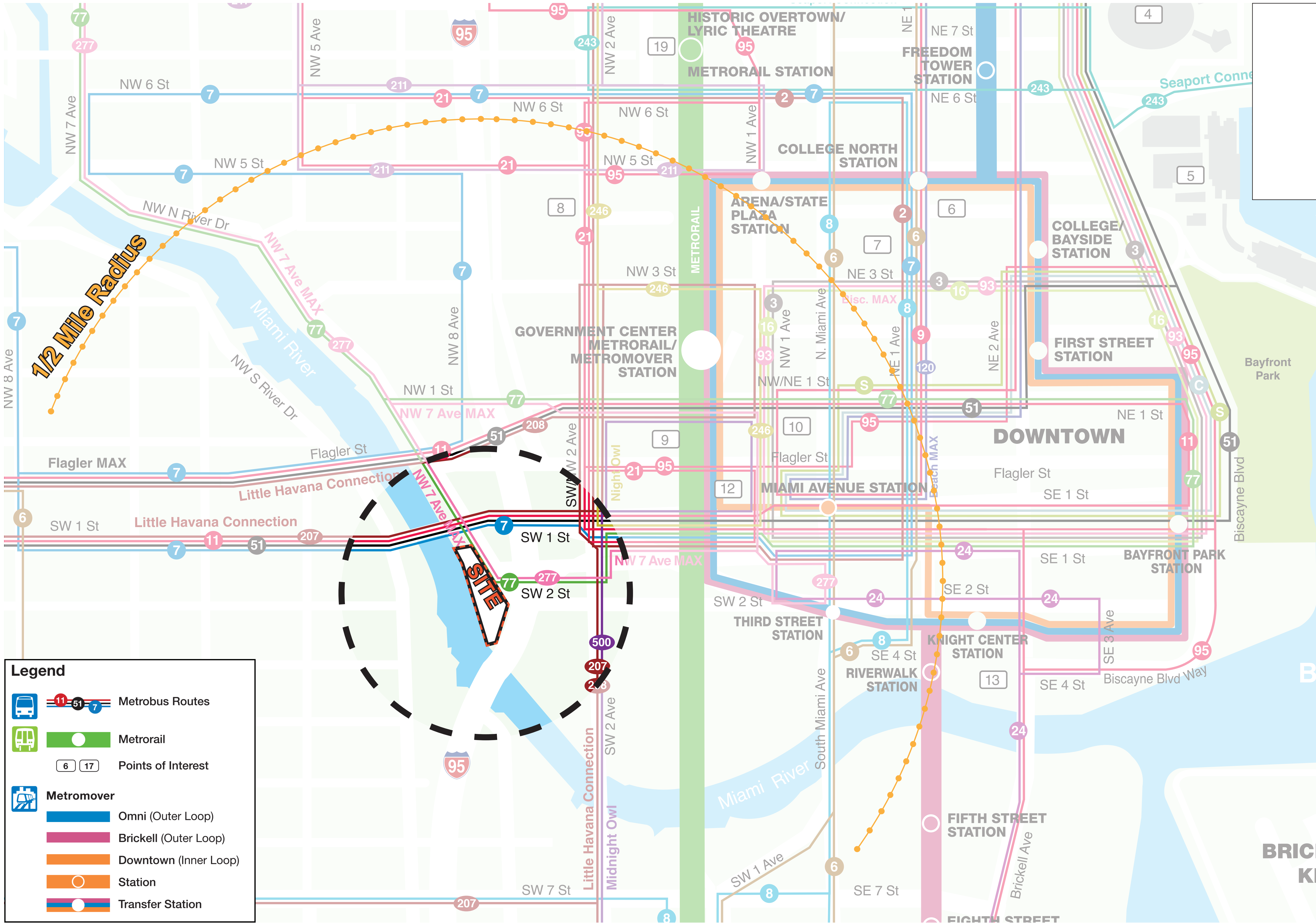
Location Map
 Not to Scale



MRC Submission
 08 December 2021

G-01

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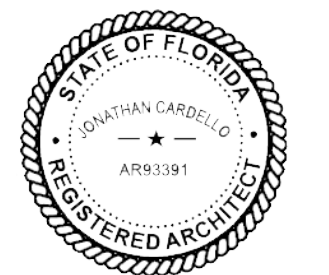


Legend

- Metrobus Routes
- Metrorail
- Points of Interest
- Metromover**
 - Omni (Outer Loop)
 - Brickell (Outer Loop)
 - Downtown (Inner Loop)
 - Station
 - Transfer Station

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RIVERSIDE WHARF
 Miami, Florida

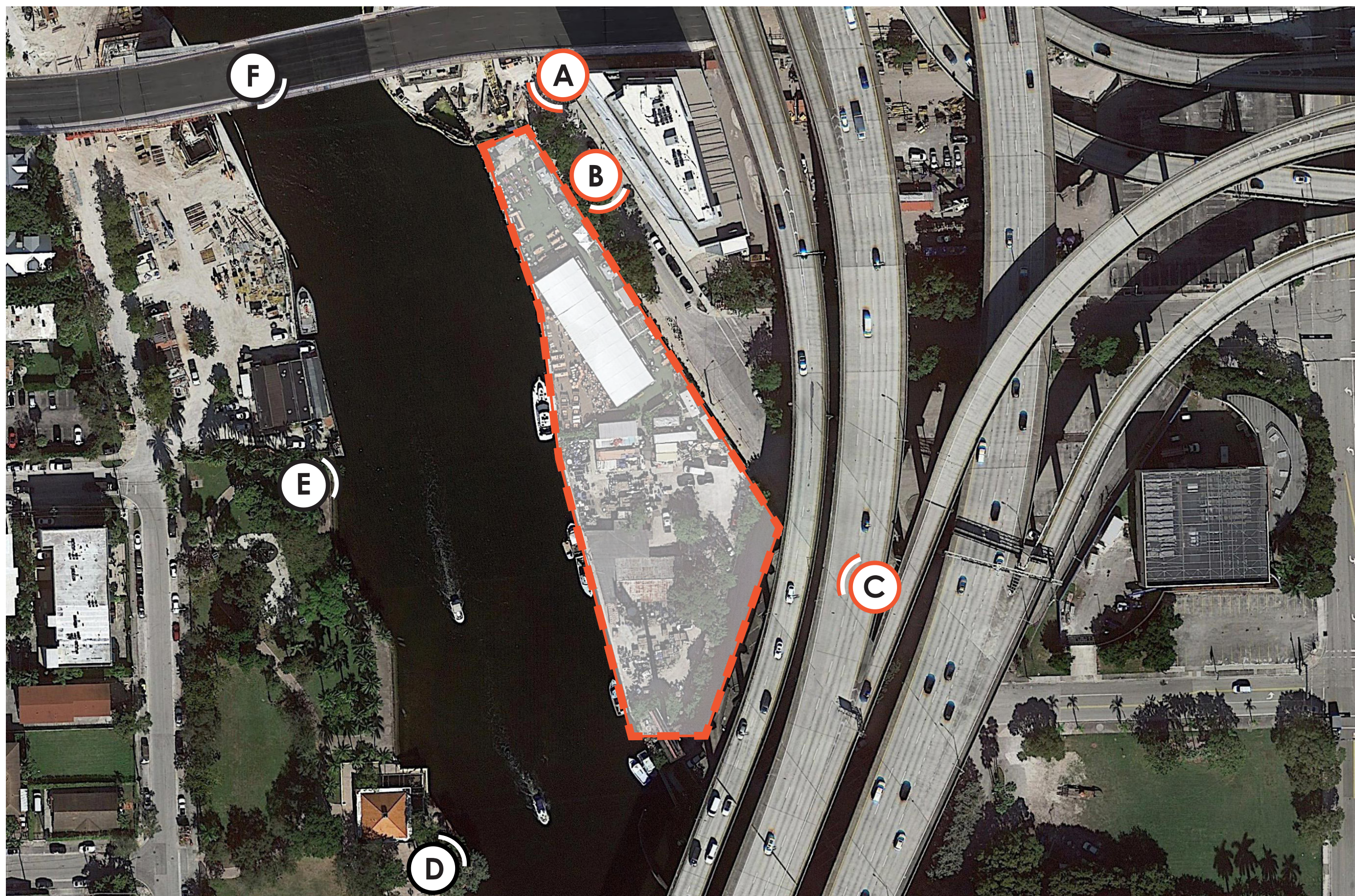
Transit Map
 Not to Scale



MRC Submission
 08 December 2021

G-02

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F Keyplan



A View A - Looking West from North River Drive



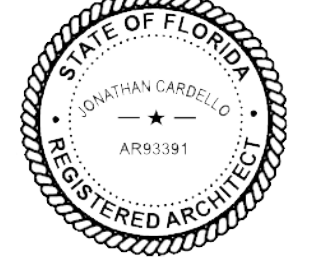
B View B - Looking SouthW North River Drive & SW 2nd St.



C View C - Looking NE SW on North River Drive from underneath I-95

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 Miami, Florida

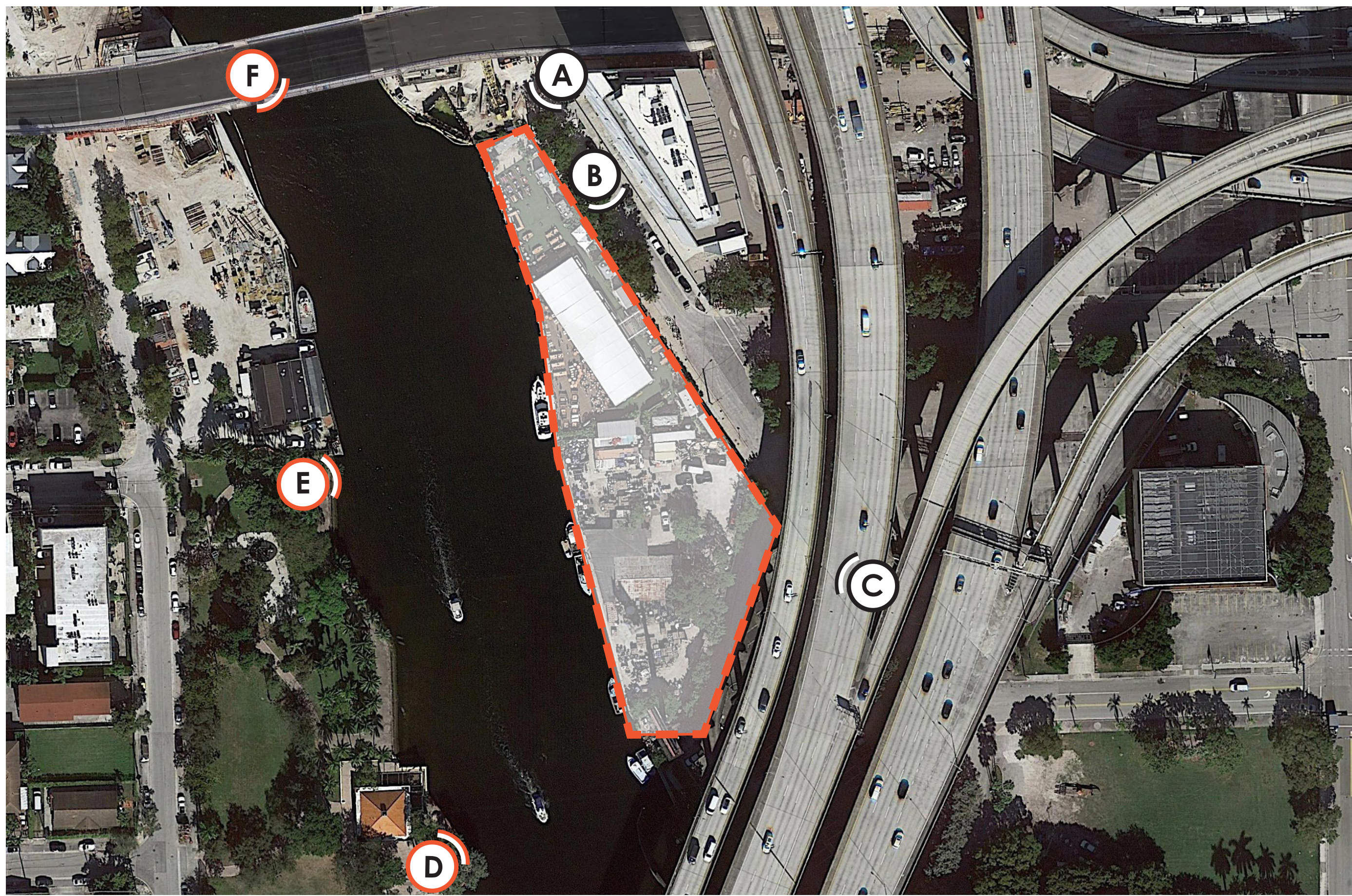
Keyed Site Photos
 Not to Scale



MRC Submission
 08 December 2021

G-03

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F Keyplan



D View A - From Jose Marti Park across the Miami River



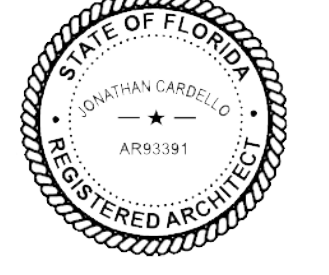
E View B - From Jose Marti Park across the Miami River



F View C - Looking from Bridge on SW 1st St.

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 Miami, Florida

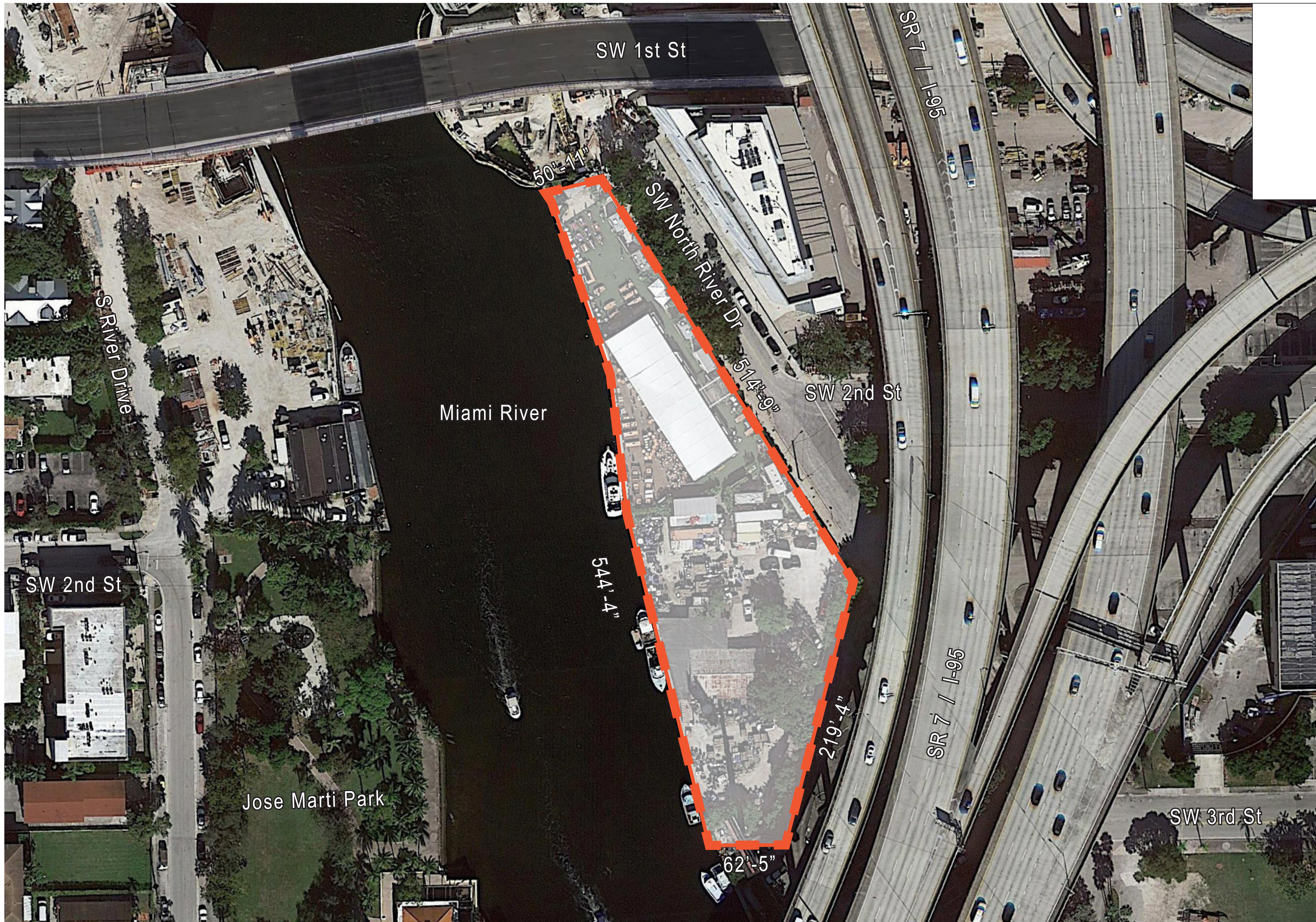
Keyed Site Photos
 Not to Scale



MRC Submission
 08 December 2021

G-04

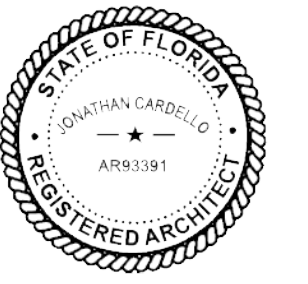
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RIVERSIDE WHARF
Miami, Florida

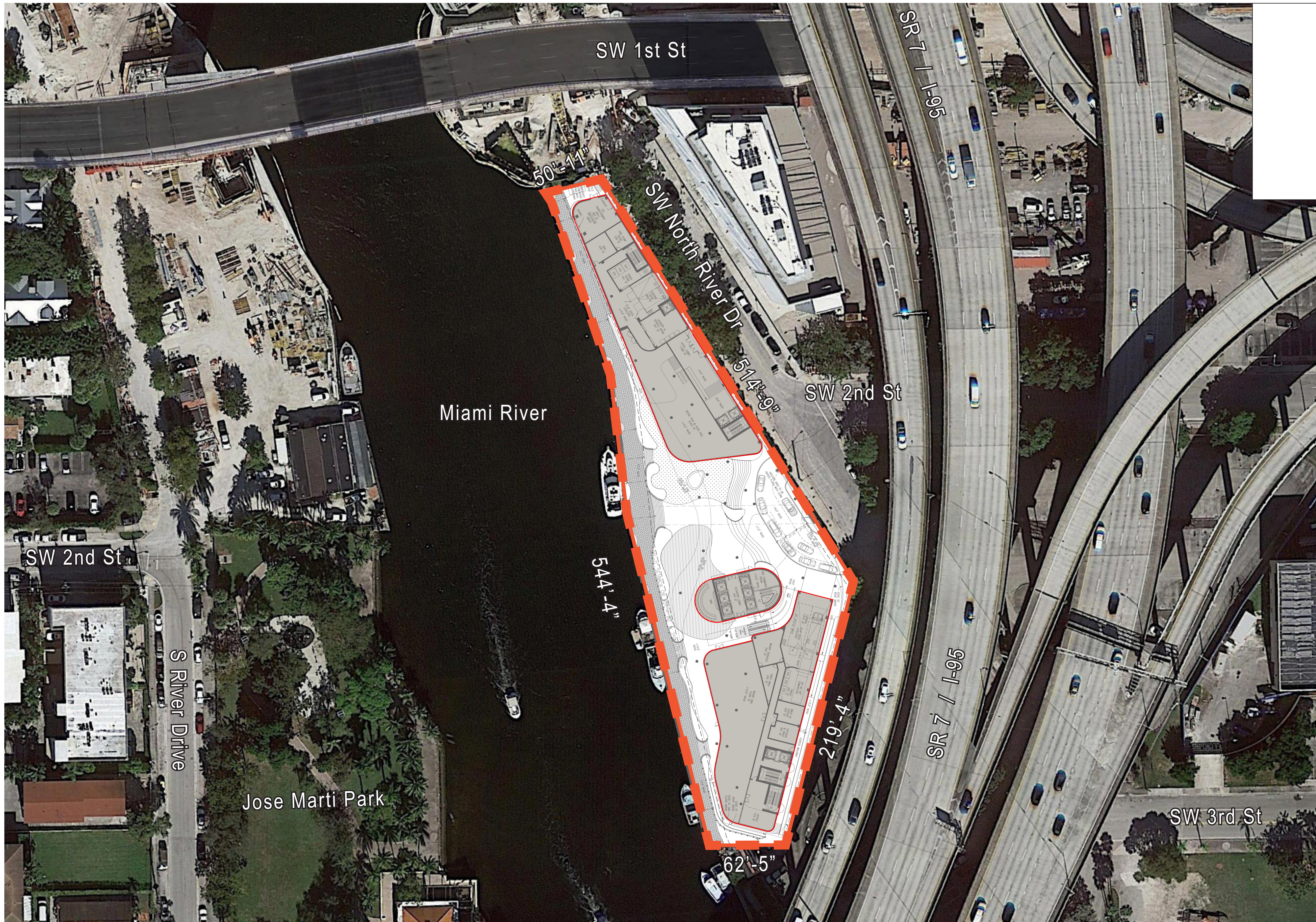
Existing Site Plan
Not to Scale



MRC Submission
08 December 2021

G-05

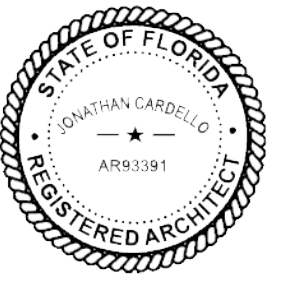
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FL License No. AR93391



RIVERSIDE WHARF
Miami, Florida

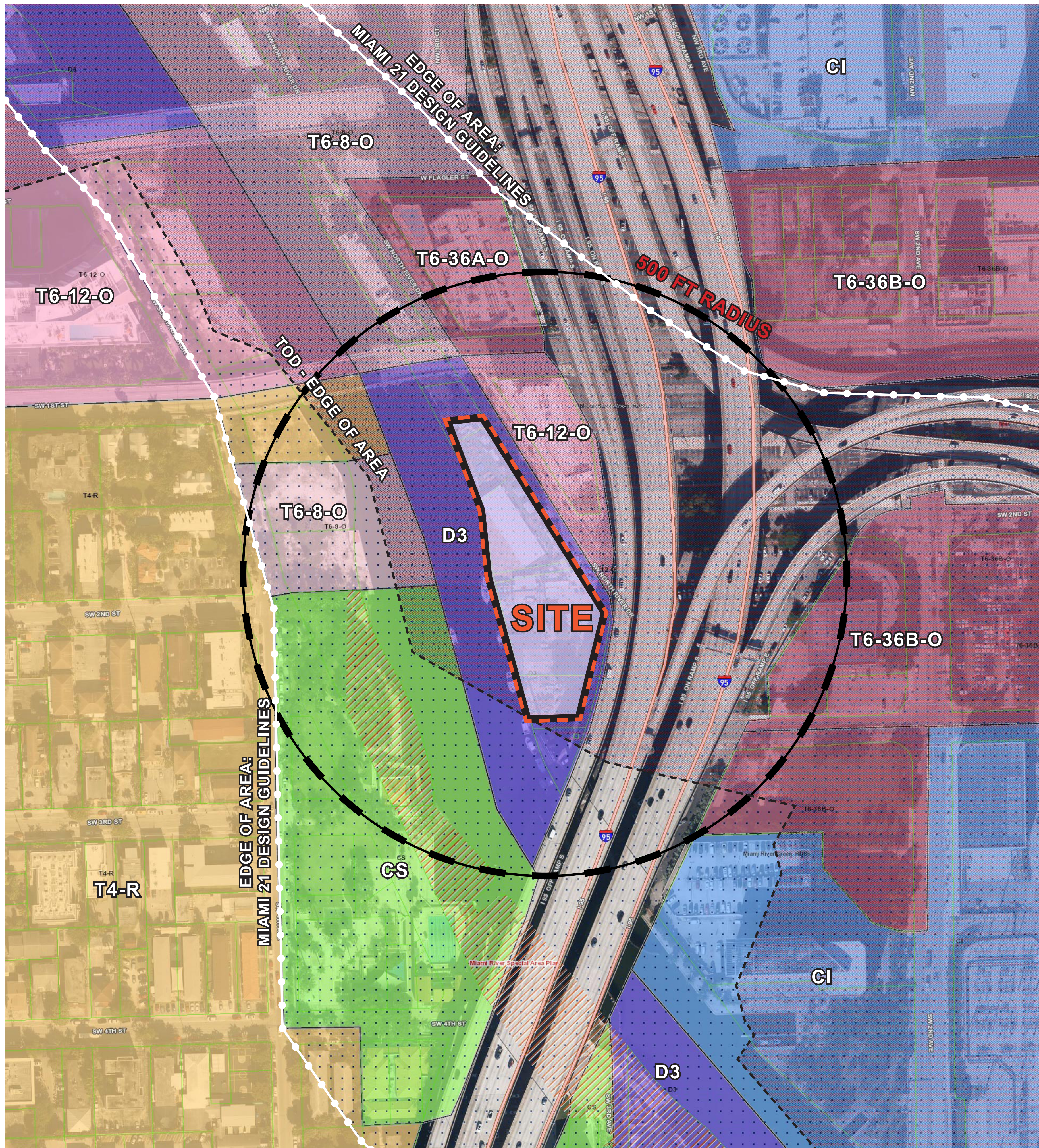
Proposed Site Plan
Not to Scale



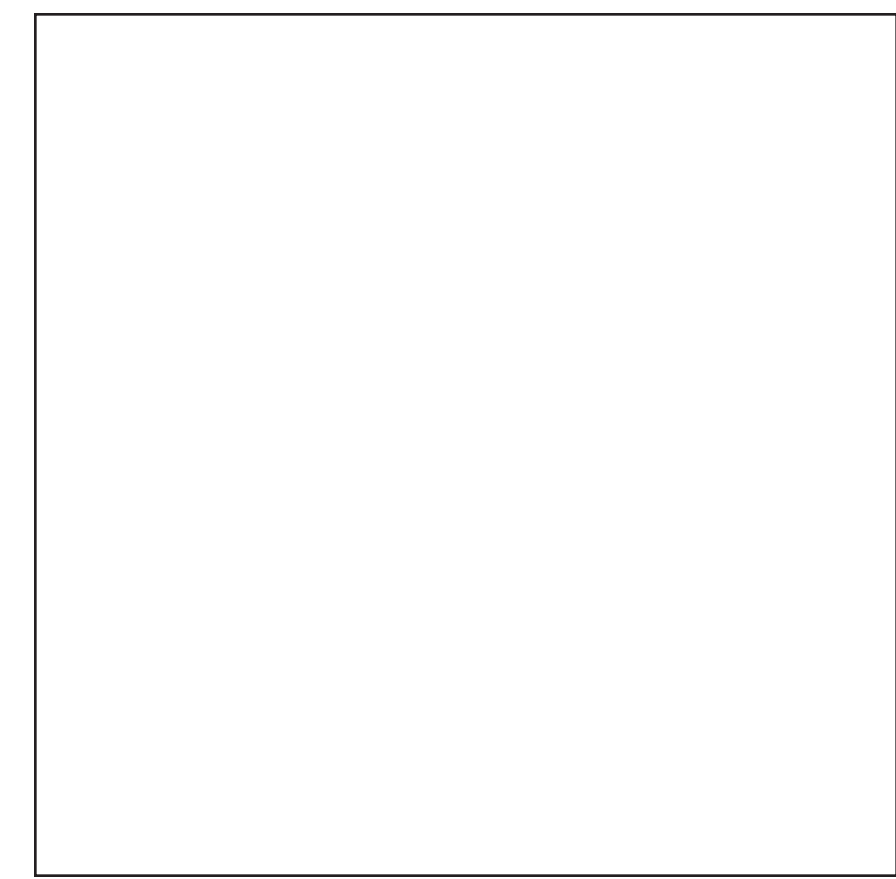
MRC Submission
08 December 2021

G-06

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A-010	Zoning Tabulations & Diagrams
A-011	Zoning Tabulations
A-012	Zoning Tabulations
A-013	Waiver Requests
A-014	Lot Coverage Diagram
A-015	Open Space Diagram
A-016	Frontage Diagram
A-017	Layer Diagram



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Jonathan W. Cardello, AIA

FL License No. AR93391



RIVERSIDE WHARF
 Miami, Florida

Zoning Tabulations
 & Diagrams

MRC Submission
 08 December 2021

A-010

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ZONING ANALYSIS

City of Miami, Florida

Zoning Districts	Status	Remarks
Lots: 114 SW North River Drive 300 SW 2nd Street 200 SW North River Drive 236 SW North River Drive 298 SW North River Drive	Folio: 01-0113-090-1160 01-0113-090-1280 01-0114-000-1090 01-0114-000-2010 01-4137-031-0010	Zone D3 D3 D3 D3 D3
	FEMA Zone AE- 9 BFE 10.0 AE- 9 BFE 10.0 AE- 9 BFE 10.0 AE- 9 BFE 10.0 AE- 9 BFE 10.0	Record Record Record Record Record

Lot Area Summary	Reference	Status	Remarks
Lot Area: Lot are shall be the area within the lot property lines, excluding any portions of street rights-of-way or other required dedications.			
114 SW North River Drive	01-0113-090-1160	Record	
300 SW 2nd Street	01-0113-090-1280	Record	Survey V-101
200 SW North River Drive	01-0114-000-1090	Record	
236 SW North River Drive	01-0114-000-2010	Record	
298 SW North River Drive	01-4137-031-0010	Record	Survey V-102

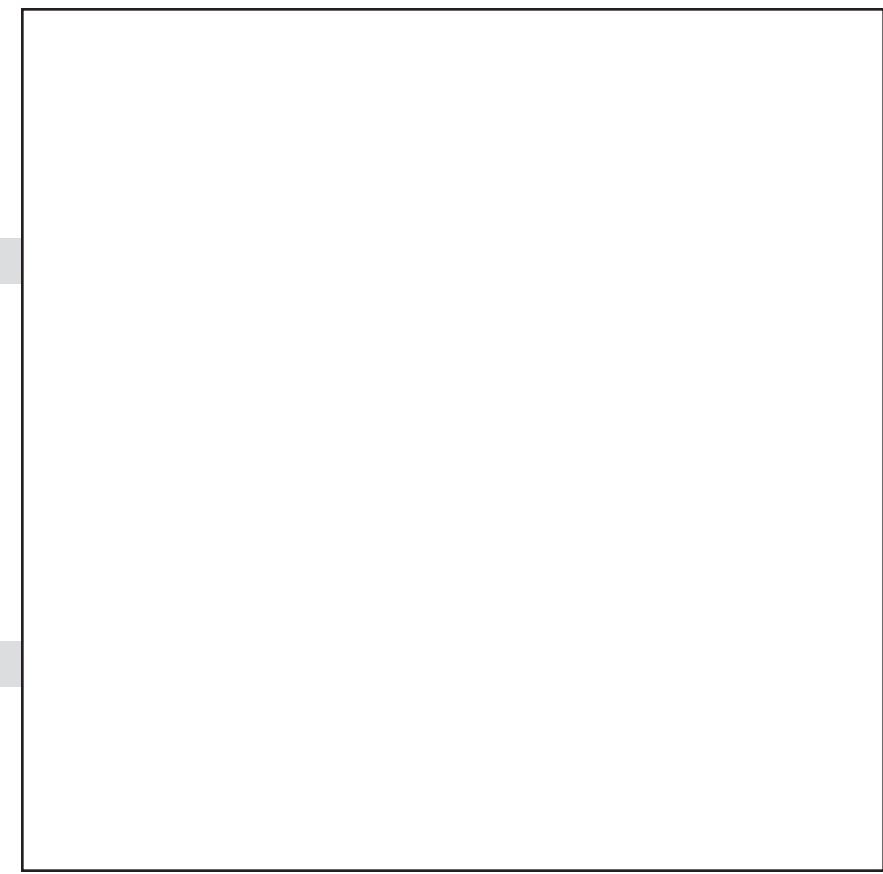
Total Net Lot Area (SF) - All Parcels **58,753 SF - Net Lot Area**
Total Net Lot Area (Acres) **1.35 Acres - Net Lot Area**

Note: Lot size per survey on record

Building Disposition Lot Occupation	Reference (Miami 21 Article 5 Illustration 5.10) (D3)	Required	Proposed	Status	Remarks
a. Lot Size		10,000 SF Min.	58,753 SF	Compliant	
b. Lot Width		100 FT Min.	540'-4"	Compliant	
c. Lot Coverage	1-8 Stories	North Building	10,861 GSF	Compliant	
		South Building	13,361 GSF		
		N & S floors above, bridge conections & roof	16,965 GSF		
		90% max	70.1%		
		52,878 GSF	41,187 GSF		
d. Floor Lot Ratio (Maximum)		North Building	106,068 GSF	N/A	
		South Building	102,487 GSF		
		N/A	3.5		
		208,555 GSF			
e. Frontage on Front Setback		N/A	N/A	N/A	
f. Open Space Requirements		5% min	29.9%	Compliant	
		2,938 GSF	17,566 GSF		
g. Density		N/A	174 Lodging Units	N/A	0.5 Dwelling unit (DU) per 1.0 Lodging unit = 72 DU

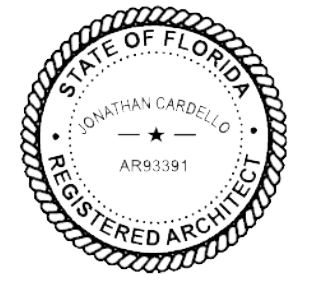
Building Disposition Building Setbacks	Reference (Miami 21 Article 5 Illustration 5.10) (D3)	Required	Proposed	Status	Remarks
a. Principal Front (SW North River Drive)		5 ft. min.	7'-0" 4'-6"	Waiver	See waiver list
b. Secondary Front		5 ft. min.	N/A	N/A	
c. Side (North)		0 ft. min.	0'-0"	Compliant	
Side (East / Highway)		0 ft. min.	2'-0"	Compliant	
Side (South)		0 ft. min.	15'-6" 5'-6"	Compliant	
d. Rear		0 ft. min.	N/A	N/A	
Waterfront - Fronting a Waterway	20'-0" Minimum or 25% of lot depth where lot is less than 80'-0"		13'-2" 25'-2"	Compliant	(see) 3.11.a.1
Waterfront - Side Setbacks	0'-0" based on D3		Refer to (c.)	Compliant	(see) 3.11.a.3
Waterfront - Minimum Circulation Zone	25'-0" 12'-0" Minimum by Waiver		12'-0"	Waiver	(see) 3.11.b.6

Building Disposition Building Height	Reference (Miami 21 Article 5 Illustration 5.10) (D3)	Required	Proposed	Status	Remarks
Minimum Stories Allowed		N/A	N/A	N/A	
Maximum Stories Allowed		8 Stories Max.	8 Stories	Compliant	
Maximum Benefit Height (inclusive of all stories)		N/A	N/A	N/A	



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Zoning Tabulations

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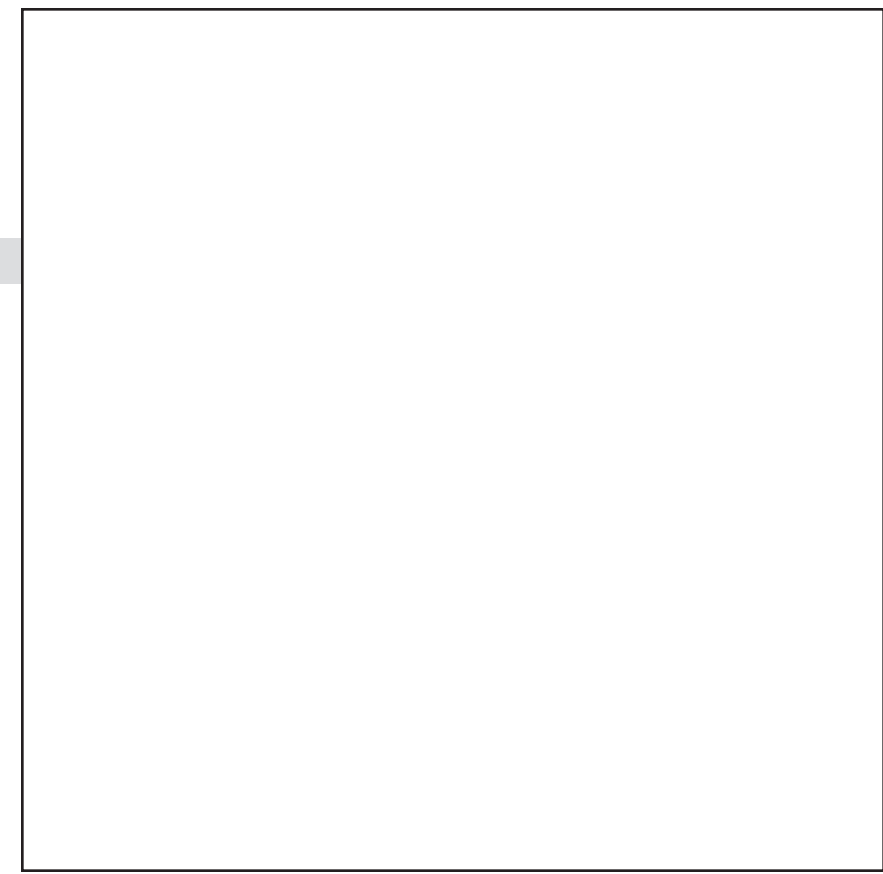
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ZONING ANALYSIS

City of Miami, Florida

Parking Requirements	Reference (Miami 21 Article 4 Table 4) (D3)	Required	Proposed	Status	Remarks
Lodging Parking Requirements					
Lodging Units Parking Requirements		Minimum of 1.5 Parking Spaces per 2 Lodging Units			
Lodging Units		174 Lodging Units			
		131 Parking Spaces	0 Parking Spaces		
Visitors Parking Requirements		Minimum of 1.0 Guest Parking Spaces per 15 Lodging Units			
Lodging Units		174 Lodging Units			
		12 Parking Spaces	0 Parking Spaces		
Total Lodging Parking Requirement		142 Parking Spaces	0 Parking Spaces		
Commercial Parking Requirements					
Commercial SF Total		Minimum of 3.0 Parking Spaces per 1,000 SF			
		87,539 SF			
		263 Parking Spaces	0 Parking Spaces		
Total Parking Required (Before Shared and TOD Reductions)		405 Parking Spaces	0 Parking Spaces		
Shared Parking Factor (Commercial w/ Lodging)		1.3 Parking Ratio			
Total Lodging Parking Required		142 Parking Spaces			
Total Lodging Parking Required (After Reduction)		-33 Parking Spaces	109 Parking Spaces		
Total Parking Required (After Shared Parking Reductions)		372 Parking Spaces			
TOD area Parking Reduction			50%		Max 30% by TOD 50% by Waiver
Reduction in Total Parking Required		-186 Parking Spaces			
Total Parking Required (After All Parking Reductions)		186 Parking Spaces	0 Parking Spaces		All required parking spaces are being provided off-site by process of waiver

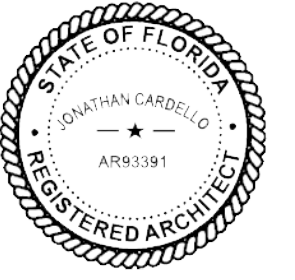
Loading Requirements	Reference (Miami 21 May 2015 - Article 4 Table 5)	Required	Proposed	Status	Remarks
Lodging Loading Requirements					
From 25,000 sf to 500,000 sf			174 Lodging Units		Note: per Miami 21 Residential Birth = 200 sf (10ft x 20ft x 12ft) Commercial Birth = 420 sf (12ft x 35ft x 15ft)
Berth Size	Number of Loading Berths Required				
420 SF	1 per first 300 Lodging Units	(1) 420 SF Berth	(2) 200 SF Berths		
200 SF	1 per each additional 100 Lodging Units				
Total Lodging Loading Berths Required =		(1) 420 SF Berth	2 Loading Berths		Waiver to substitute (1) 420 SF Berth for (2) 200 SF Berths
Office/Commercial Loading Requirements					
From 25,000 sf to 500,000 sf			87,539 SF		
Berth Size	Number of Loading Berths Required				
420 SF	25K sf - 50K sf	(1) 420 SF Berth	(1) 420 SF Berth		
420 SF	50K sf - 100K sf	(1) 420 SF Berth	(1) 420 SF Berth		
420 SF	100K sf - 250K sf				
420 SF	250K sf - 500K sf				
Total Office/Commercial Loading Berths Required =		(2) 420 SF Berths	(2) 420 SF Berths		



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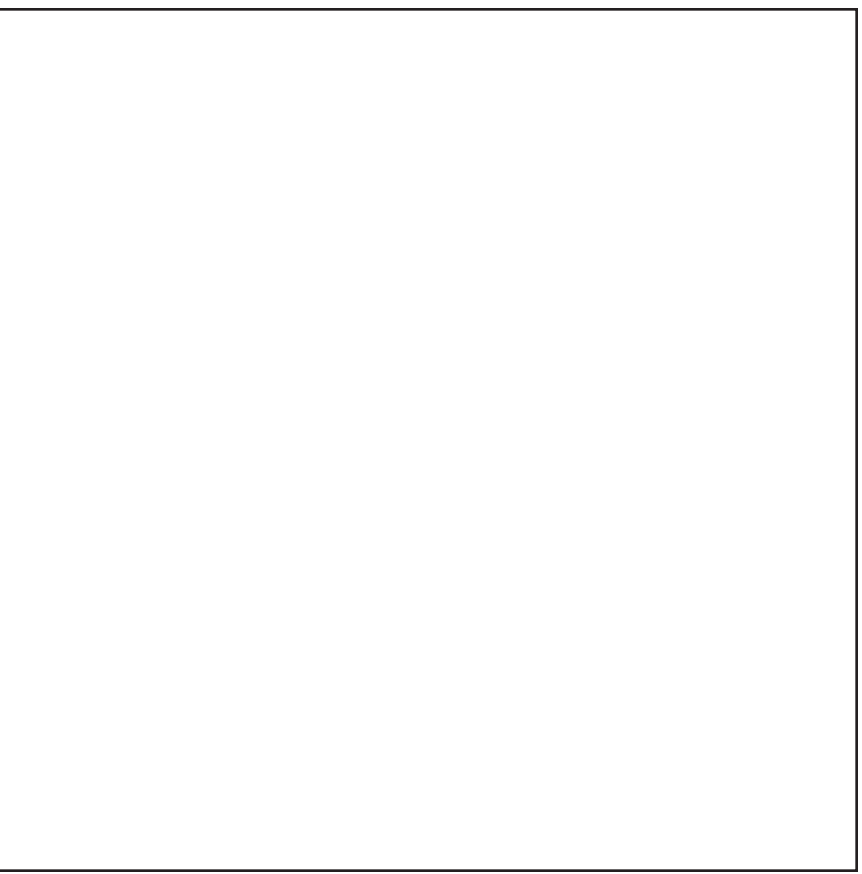
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Waiver List

City of Miami, Florida

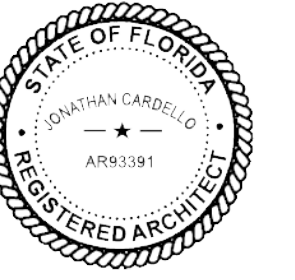
Exception Request	Section Number	Section Text	Justification
Lodging use within D3 Zone	Article 4 Table 3	Zone: D3 Building Function Use: Lodging/Hotel Exception	Exception is being sought to permit Lodging uses in a D3 Transect Zone, pursuant to Article 4 Table 3
Waiver Request	Section Number	Section Text	Justification
(1) 420 SF Lodging Loading Berth is required. Propose substituting with (2) 200 SF Berths	Article 4 Table 5	Loading Berth Standards Notes ** 1 Commercial berth may be substituted by 2 Residential berths"	Due to the narrow dimensions on the North side of the property where the hotel portion is located and the narrow roadway access, we propose using (2) smaller 200 SF Berths in place of (1) 420 SF Berth.
Propose providing the minimum waterfront circulation path of 12'-0".	3.11.b.6	The total width of a Waterfront walkway shall be a minimum of twenty-five (25) feet per Appendix B, unless the Setback is reduced when the depth of the Lot requires it. Waterfront walkway Design Standards shall apply in the entirety of the Setback when properties are set back less than twenty-five (25) feet. Standards may be adjusted by process of Waiver, but shall not diminish the Circulation Zone identified within Appendix B, with a clear path no less than twelve (12) feet in total width provided.	Due to the Narrow lot depth of the North end we are proposing to use the 12'-0" minimum. Along the Middle and south portions of the waterfront, we are opening-up/widening the pathway for a more open public experience. (See landscape drawings for waterfront walkway layout/design)
Primary setback (East corner or property) Dominant setback waiver request for rooftop and architectural screen encroachment.	Illustration 5.10 5.10.1.e.	Setbacks for Buildings shall be as shown in Article 4, Table 2 and Illustration 5.10. Illustration 5.10 Building Setback a. Principal Front 5 ft. min	The majority of the Primary setback is upheld. The building is setback 7'-0" to allow an architectural screen element. The East corner of the property line jogs inward creating a pinch point. We are requesting a dominant setback waiver to allow for a consistent architectural facade/design. The small portion of the roof that is over the setback is all terrace space with a screen element (no interior space). The corner of the building is filleted (rounded) as the building turns the corner and faces the highway (I-95) to help soften the views.
Parking Reduction: No Parking on site	Article 4 Table 4 (D)	Except for sites within 500 feet of an ungated T3 Transect Zone, the parking ratio may be reduced within a TOD area or within a Transit Corridor area by up to thirty percent (30%) by process of Waiver; by up to fifty percent (50%) by process of Waiver and payment into a transit enhancement Trust Fund, as established by Chapter 35 of the City Code; or by one hundred percent (100%) for any Structure with a Floor Area of ten thousand (10,000) square feet or less.	The site is located along (2) Metrobus Routes (SW North River Dr.) and within 1 block of multiple large public parking lots. The site is also located within 1/2 mile from the Government Center Metrorail station. The current function of the property does not include any parking.



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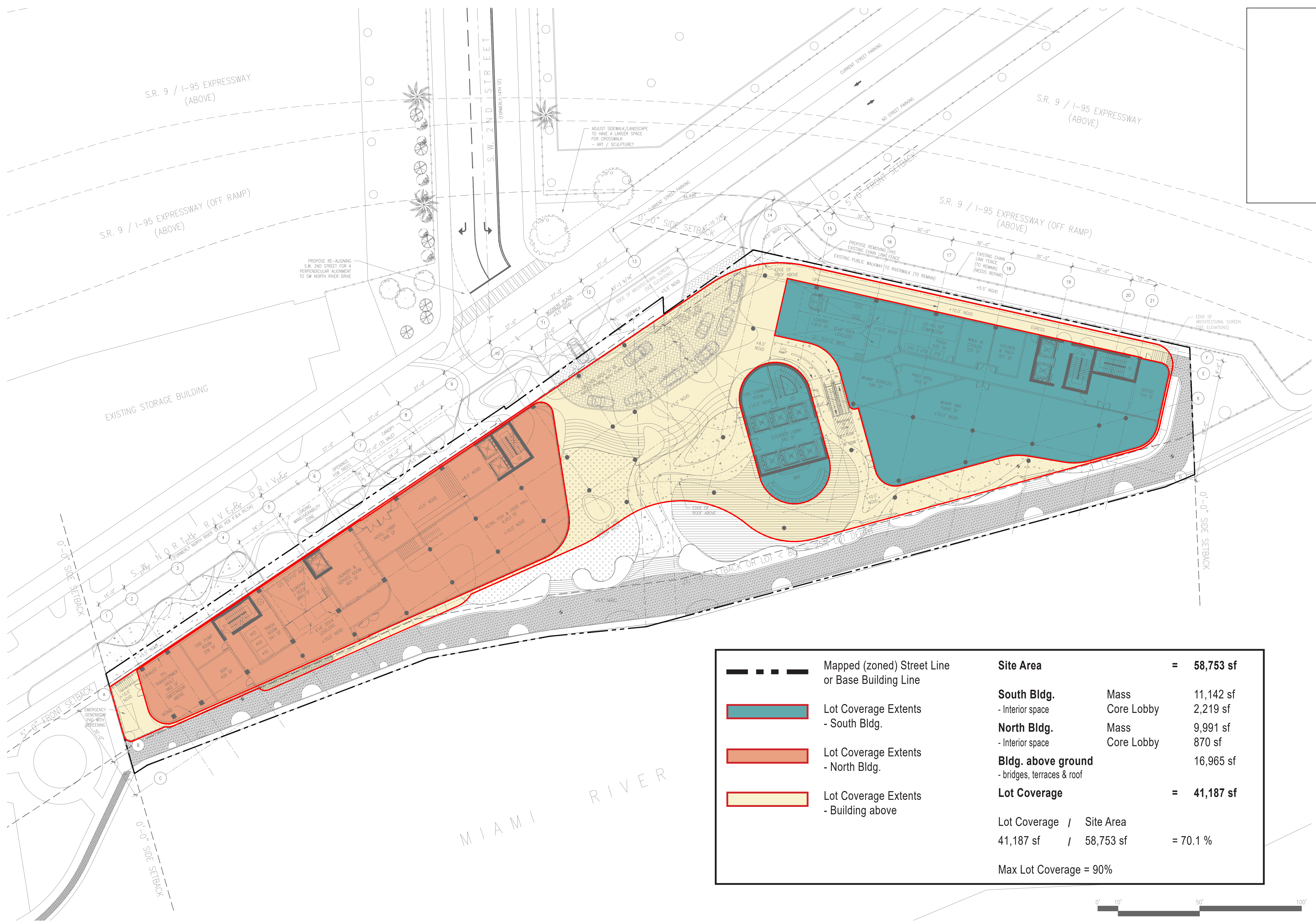
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Waiver Requests

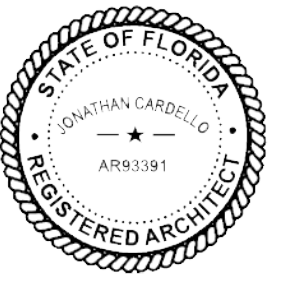
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Lot Coverage Diagram
 Scale: 3/64" = 1'-0"

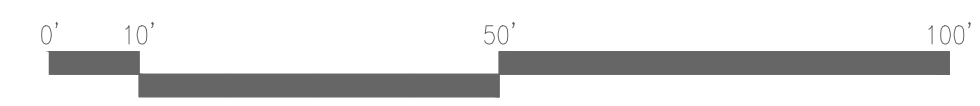


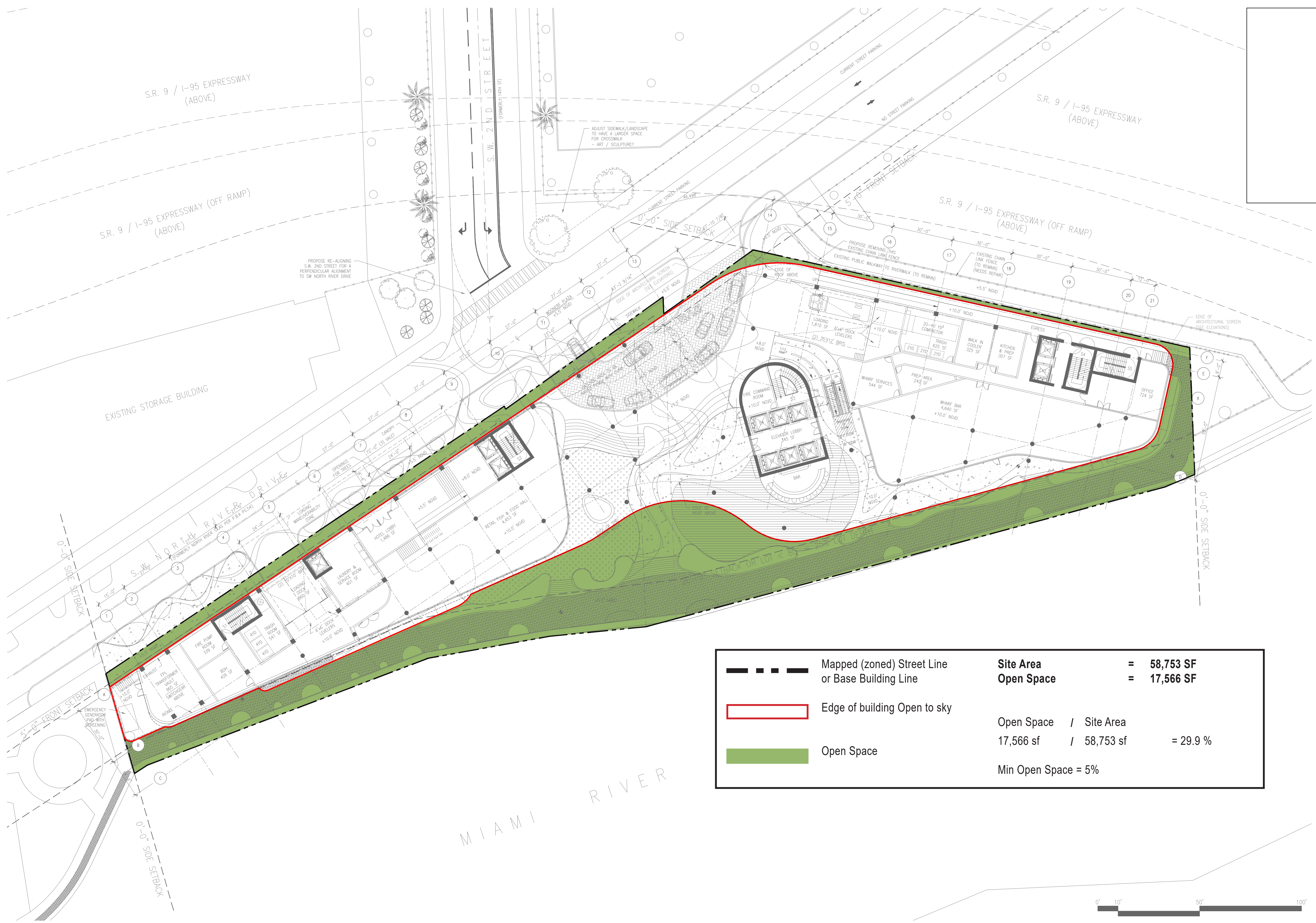
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	Mapped (zoned) Street Line or Base Building Line	Site Area	=	58,753 sf
	Lot Coverage Extents - South Bldg.	South Bldg.	Mass	11,142 sf
	Lot Coverage Extents - North Bldg.	- Interior space	Core Lobby	2,219 sf
	Lot Coverage Extents - Building above	North Bldg.	Mass	9,991 sf
		- Interior space	Core Lobby	870 sf
		Bldg. above ground		16,965 sf
		- bridges, terraces & roof		
		Lot Coverage	=	41,187 sf
		Lot Coverage / Site Area		
		41,187 sf / 58,753 sf	=	70.1 %
		Max Lot Coverage = 90%		

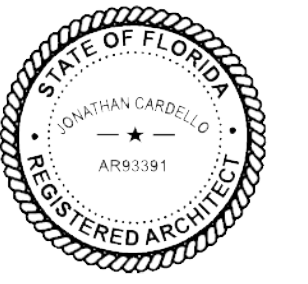




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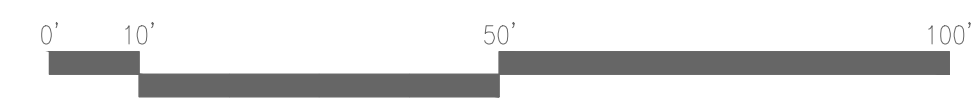
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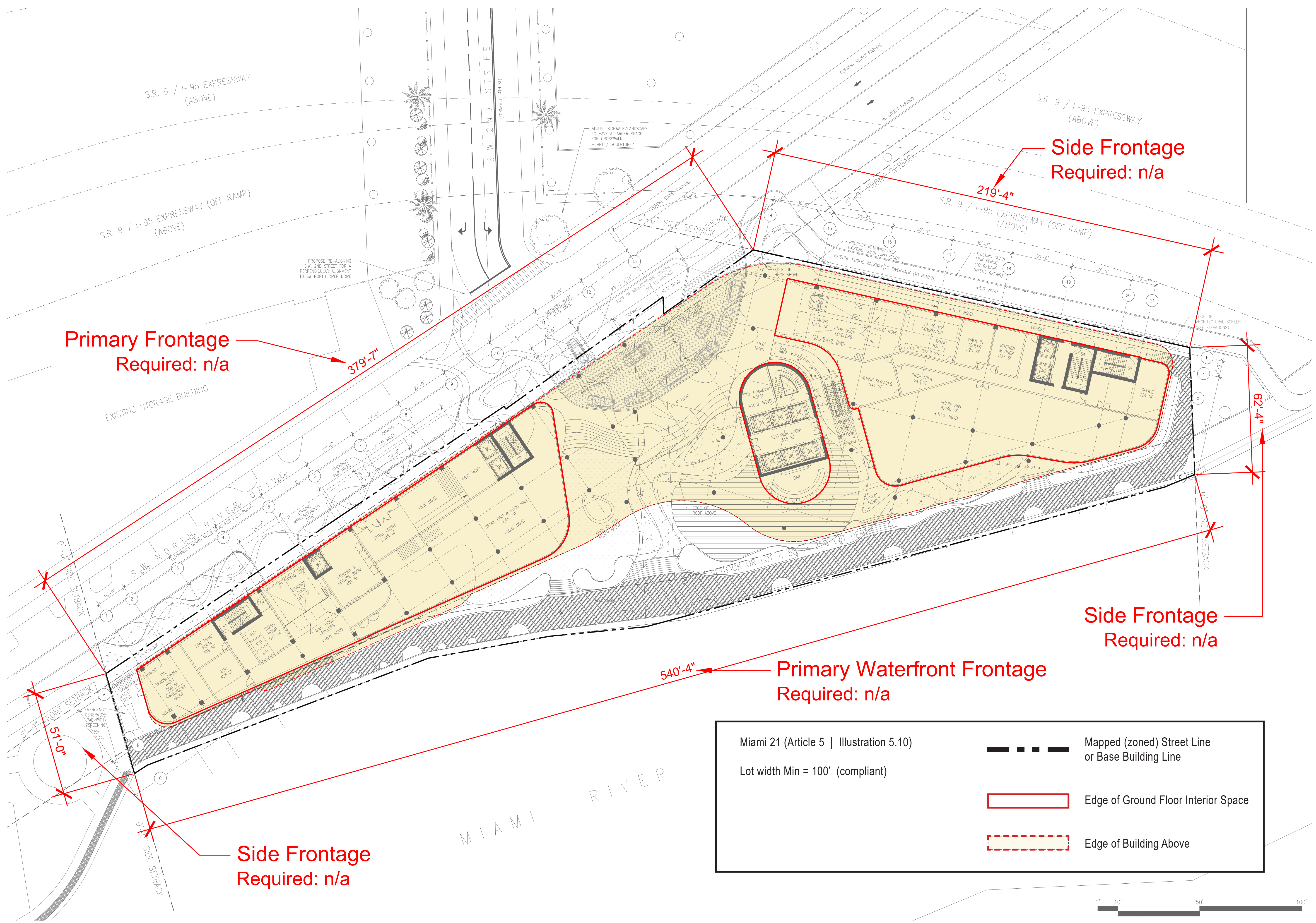
Open Space Diagram
Scale: 3/64" = 1'-0"

	Mapped (zoned) Street Line or Base Building Line	Site Area	=	58,753 SF
	Edge of building Open to sky	Open Space	=	17,566 SF
	Open Space	Open Space / Site Area		
		17,566 sf / 58,753 sf	=	29.9 %
		Min Open Space =		5%



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**Primary Frontage
Required: n/a**

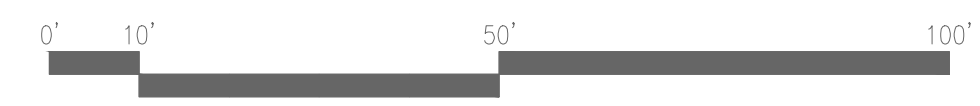
**Side Frontage
Required: n/a**

**Side Frontage
Required: n/a**

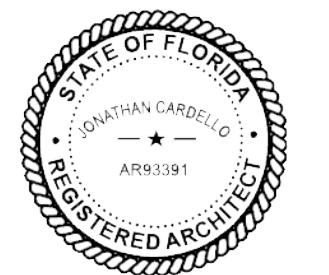
**Primary Waterfront Frontage
Required: n/a**

**Side Frontage
Required: n/a**

Miami 21 (Article 5 Illustration 5.10)		Mapped (zoned) Street Line or Base Building Line
Lot width Min = 100' (compliant)		
		Edge of Ground Floor Interior Space
		Edge of Building Above



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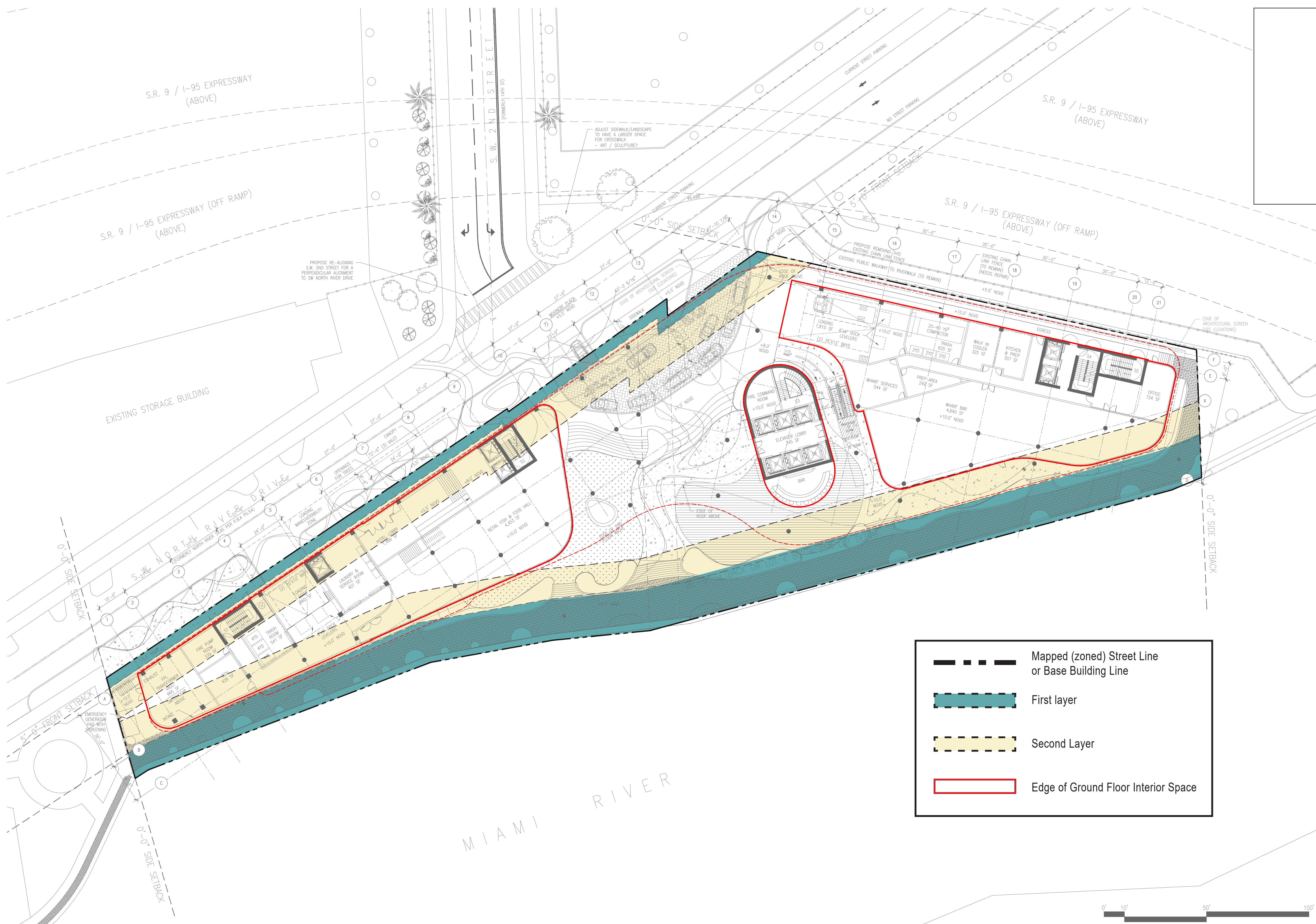
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Frontage Diagram
Scale: 3/64" = 1'-0"

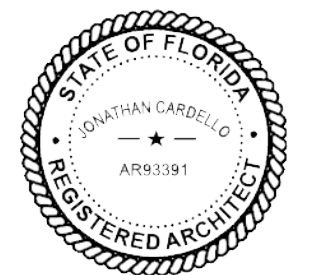


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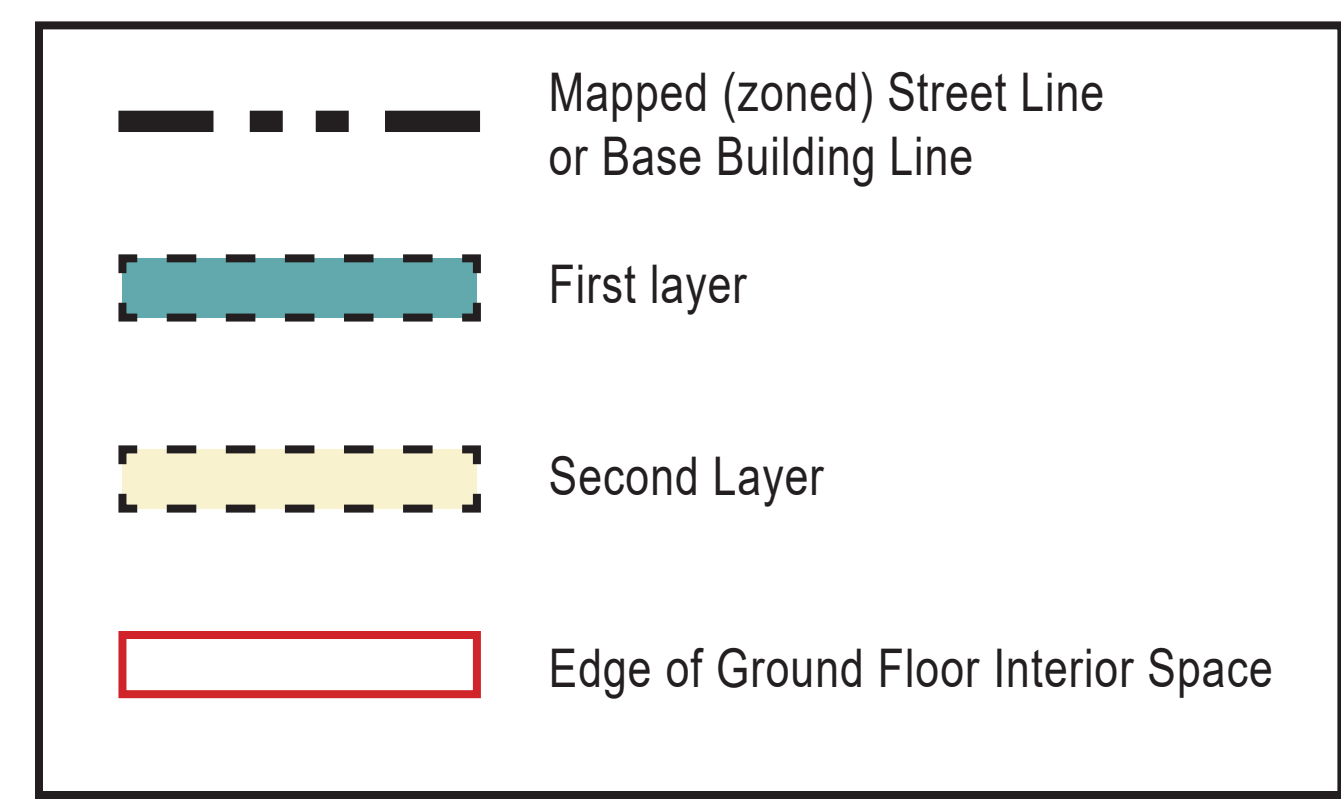
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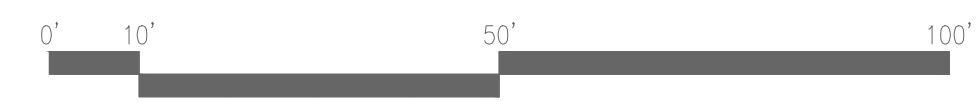
Layer Diagram
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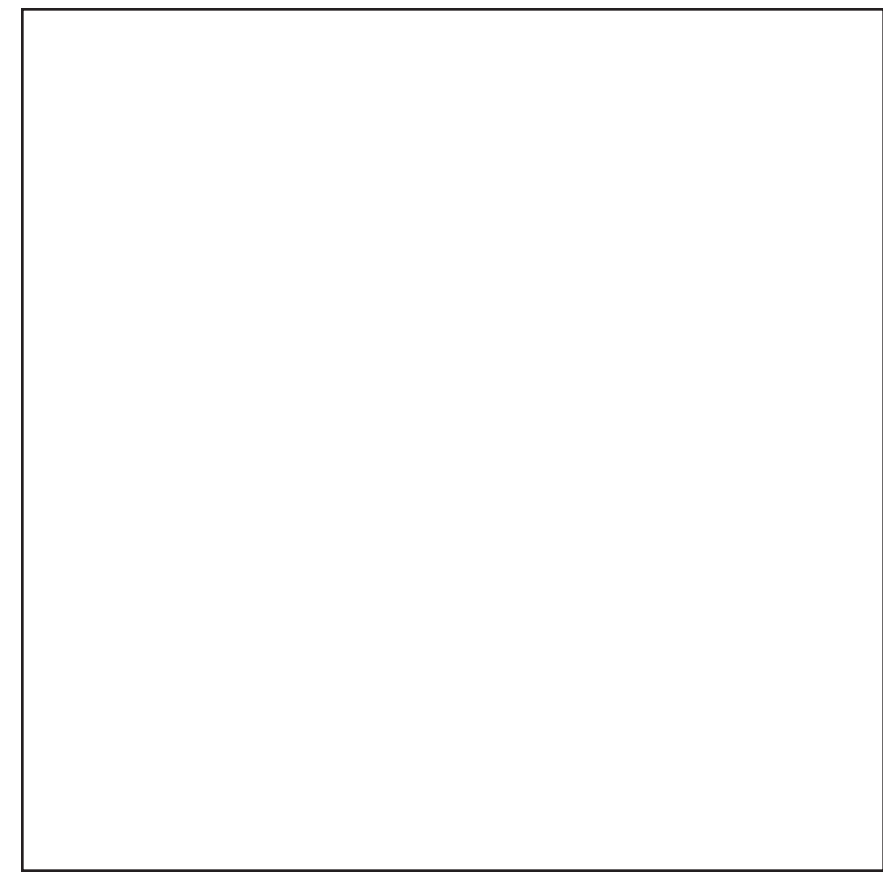
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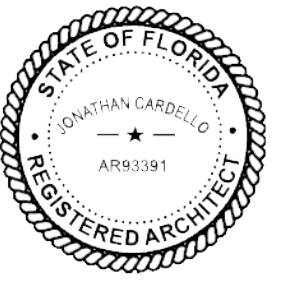


A-100	Floor Plans
A-101	Ground Floor Plan
A-102	Roof Deck (N.) & 8th (S.) Floor Plan



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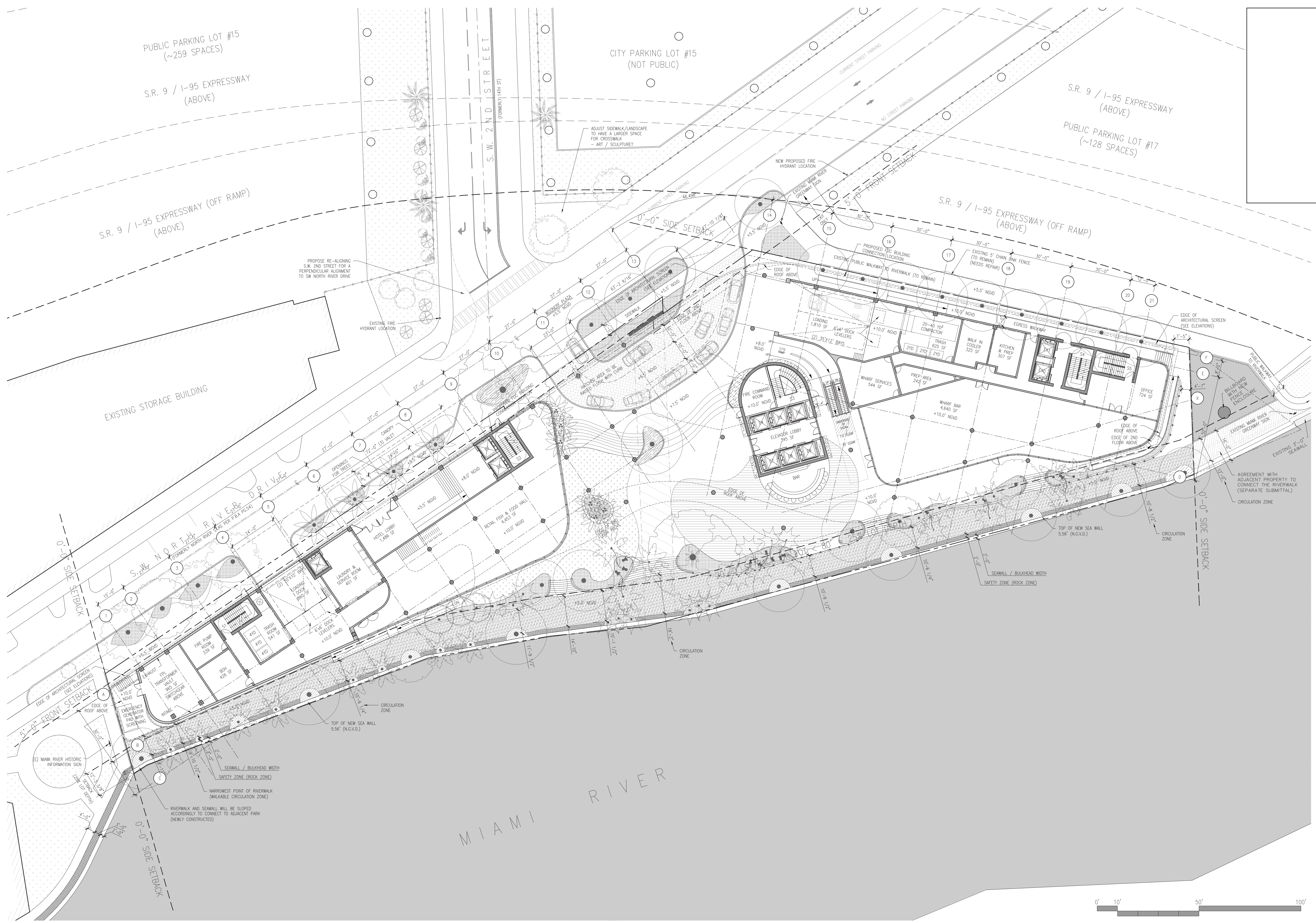
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Floor Plans

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PUBLIC PARKING LOT #15
(~259 SPACES)
S.R. 9 / I-95 EXPRESSWAY
(ABOVE)

CITY PARKING LOT #15
(NOT PUBLIC)

S.R. 9 / I-95 EXPRESSWAY
(ABOVE)
PUBLIC PARKING LOT #17
(~128 SPACES)

S.R. 9 / I-95 EXPRESSWAY (OFF RAMP)
(ABOVE)

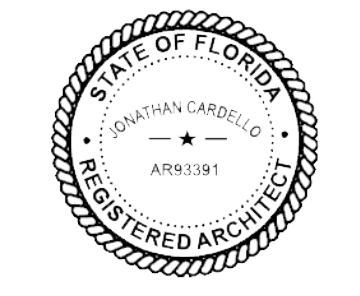
S.R. 9 / I-95 EXPRESSWAY (OFF RAMP)
(ABOVE)

EXISTING STORAGE BUILDING

MIAMI RIVER



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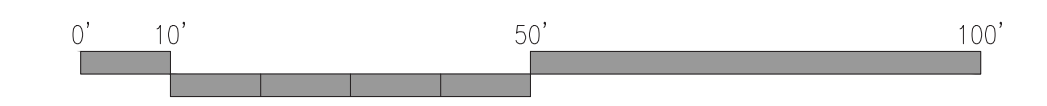
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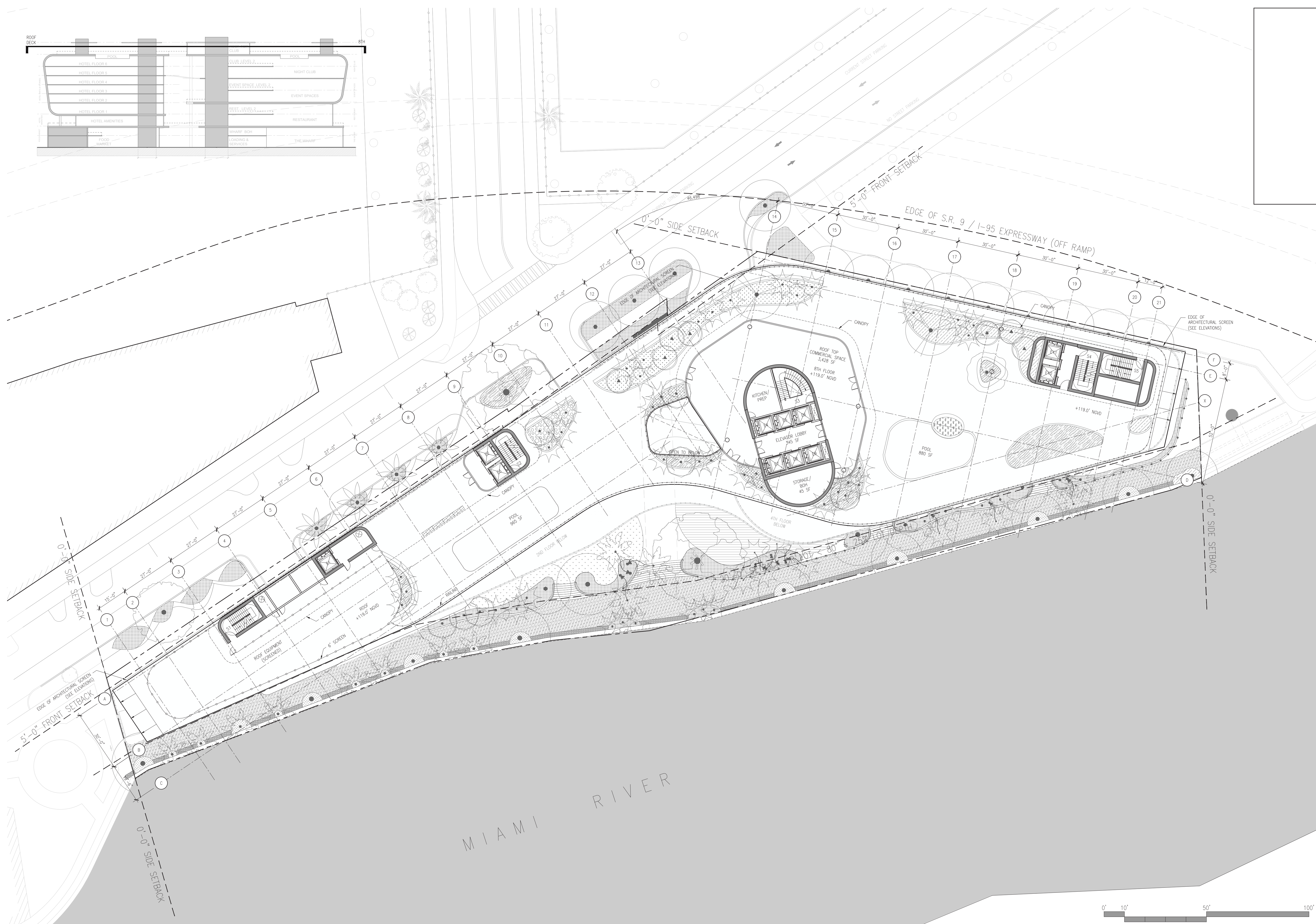
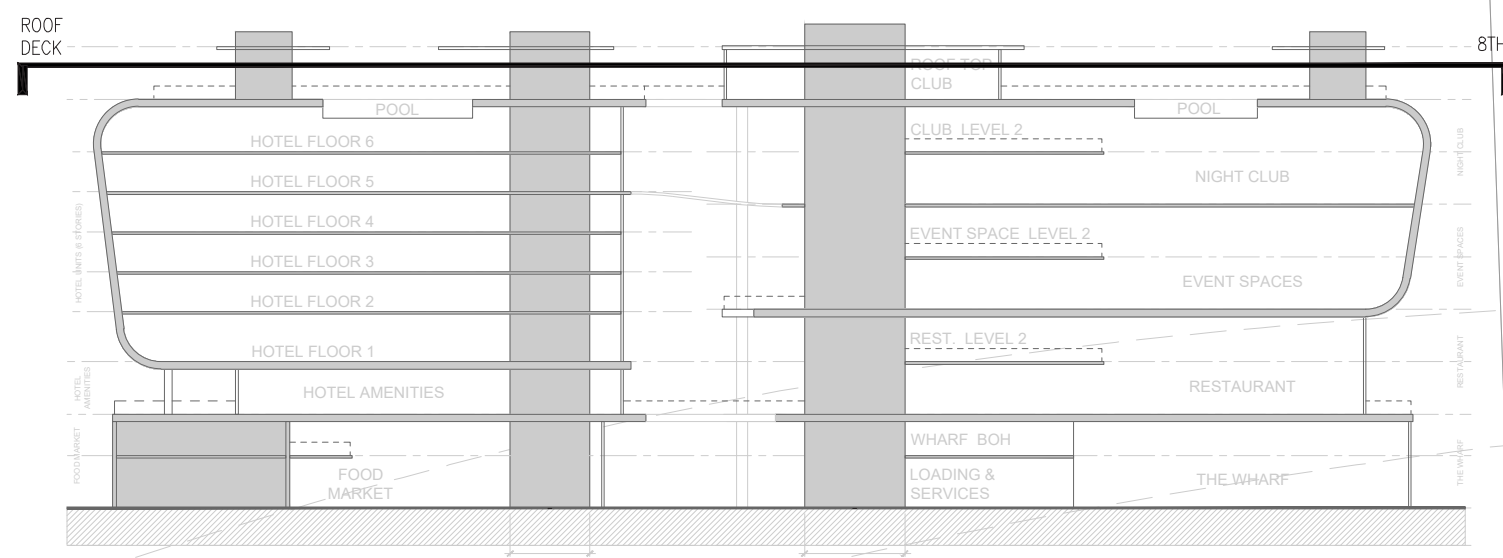
Ground Floor Plan
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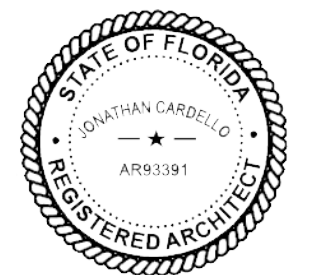
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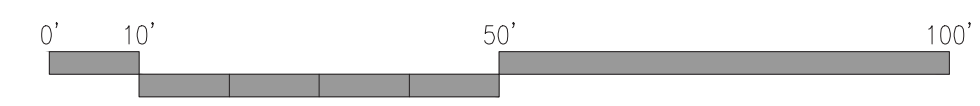
Roof Deck (North) & 8th (South) Floor Plan
 Scale: 3/64" = 1'-0"



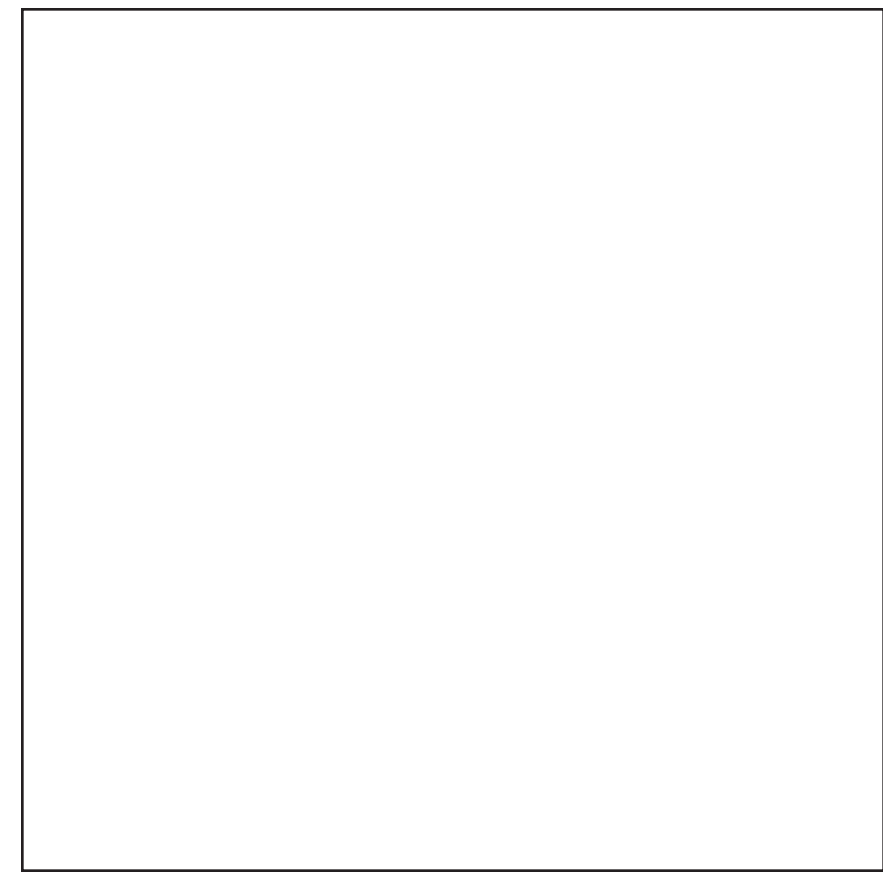
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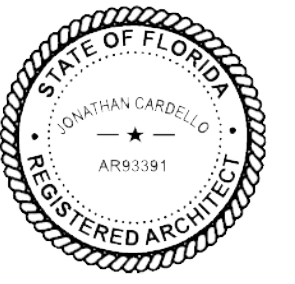


A-200	Building Elevations & Sections
A-201	East Elevation (South Bldg)
A-202	North - East Elevation (North Bldg)
A-203	South - West Elevation (North Bldg)
A-204	West Elevation (South Bldg)
A-205	Programmatic Building Section



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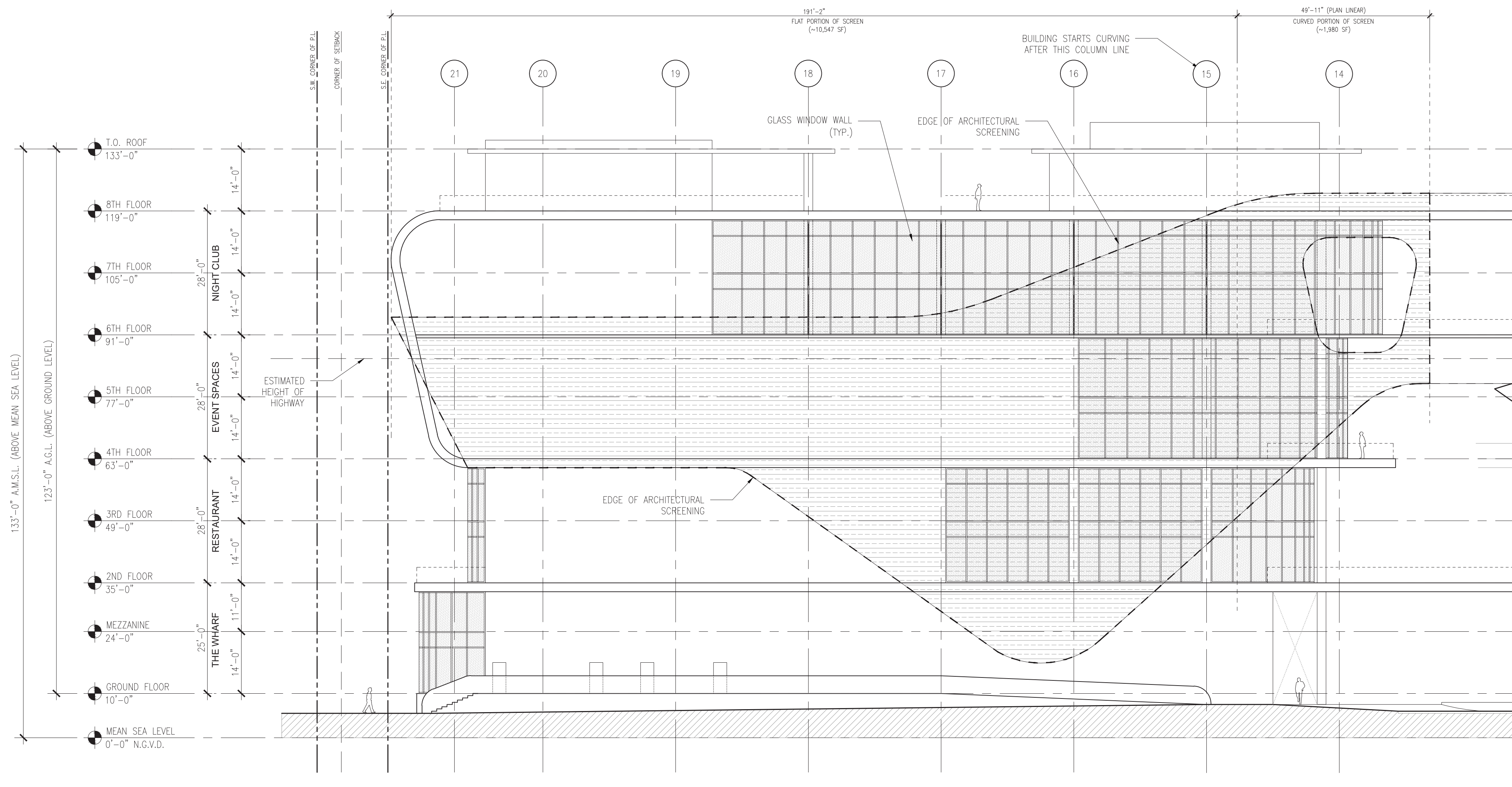
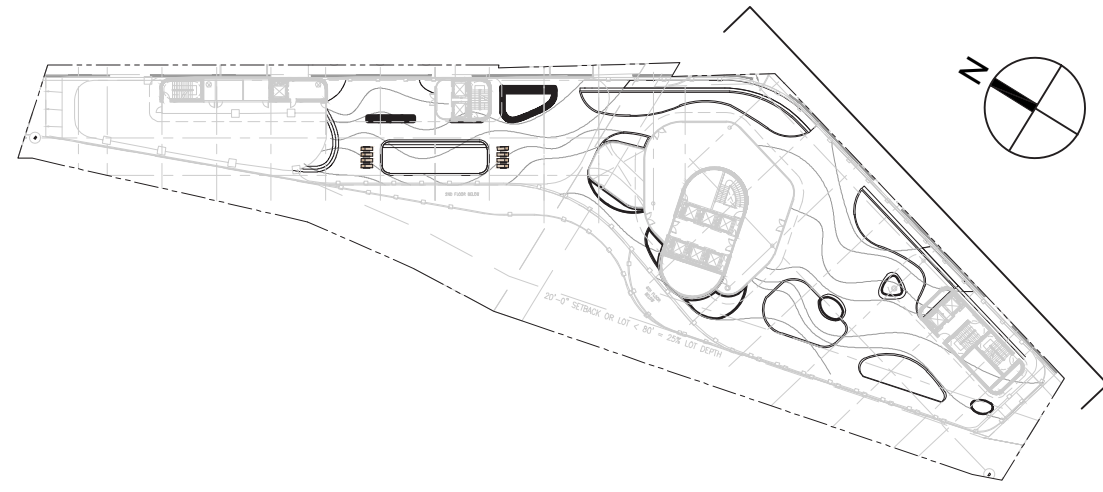
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**Building Elevations
 & Sections**

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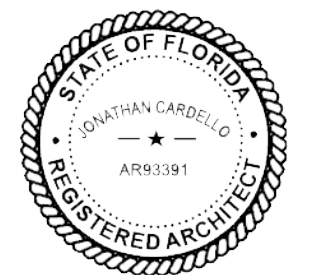
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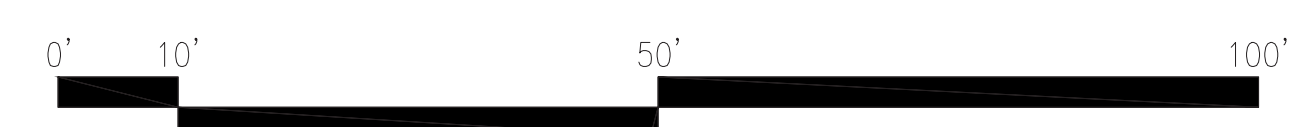


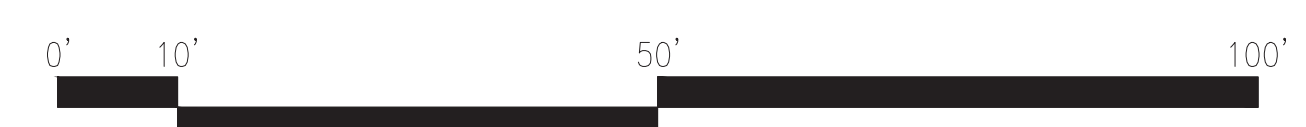
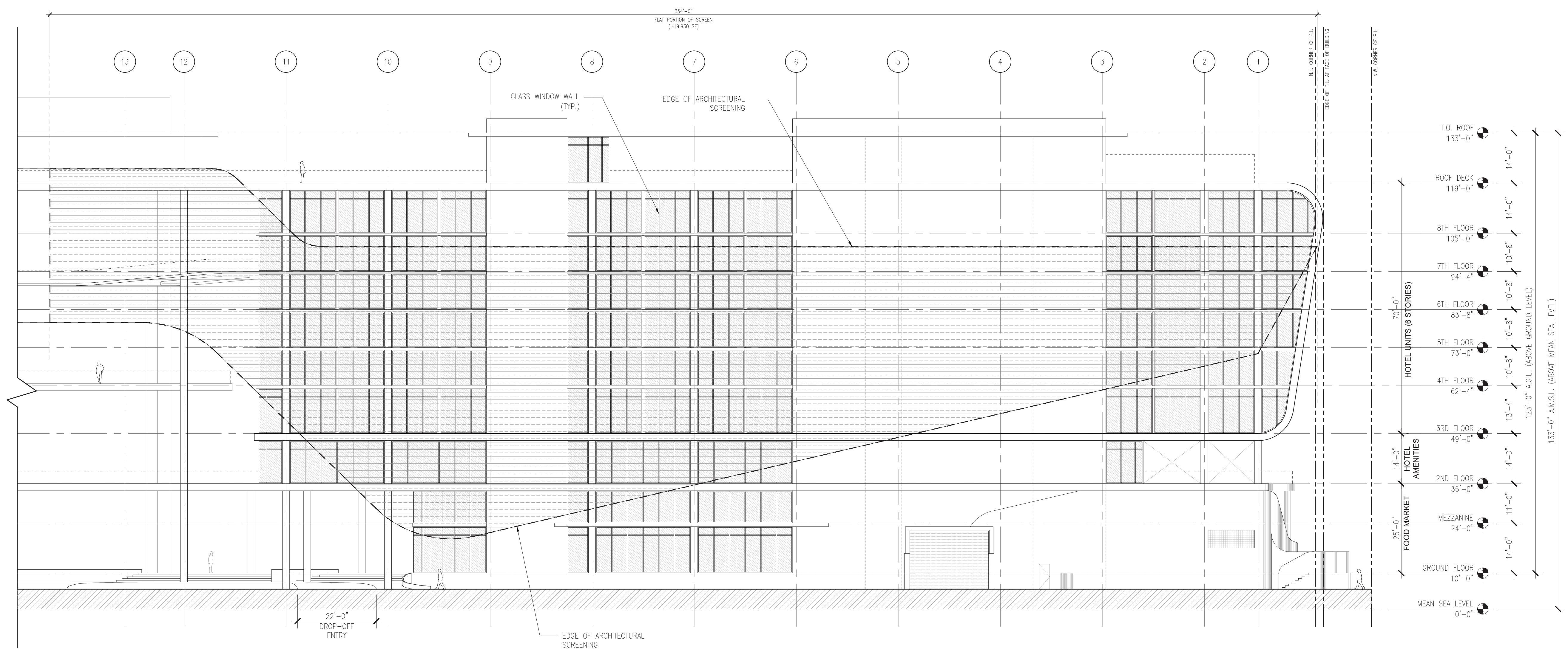
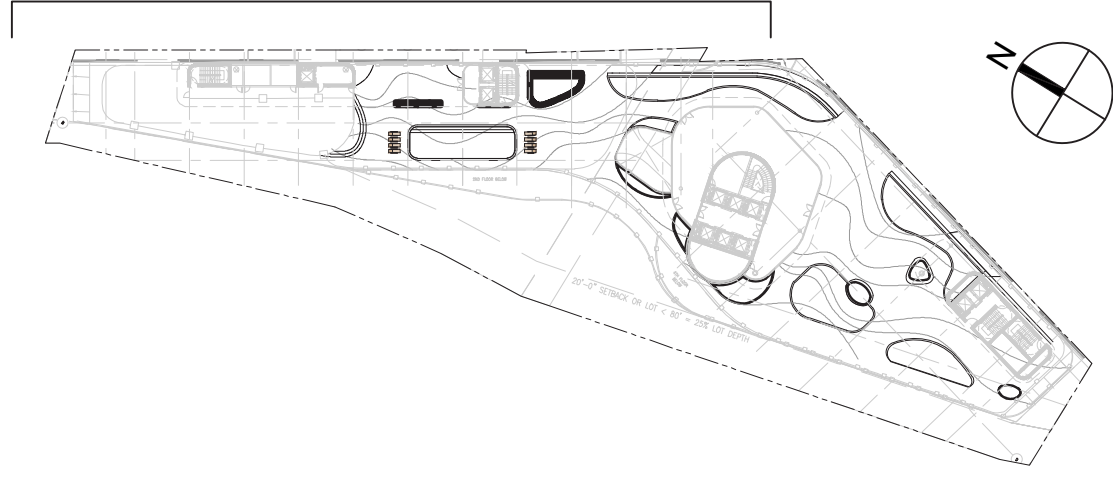
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East Elevation (South Bldg.)
 Scale: 1/16" = 1'-0"

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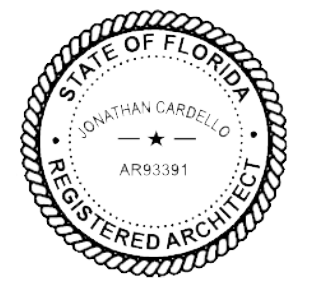
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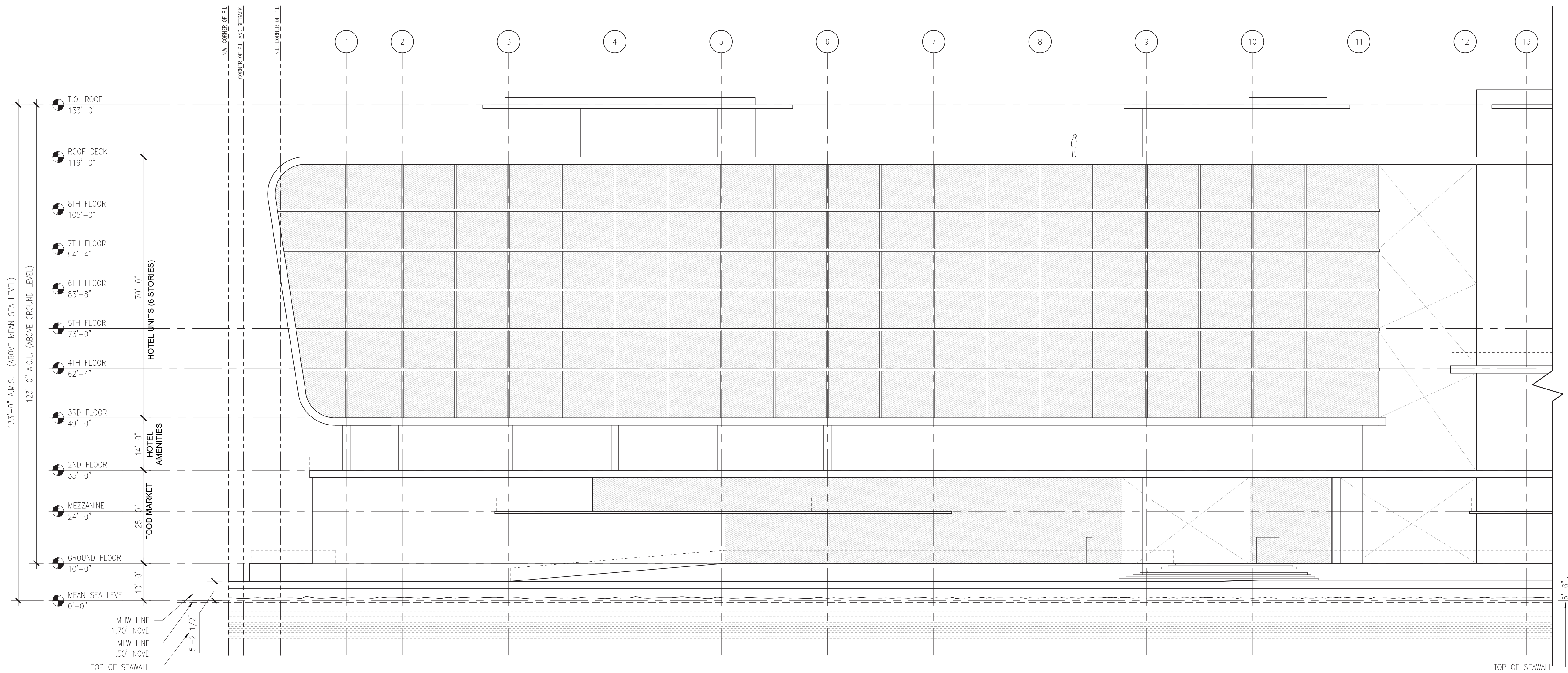
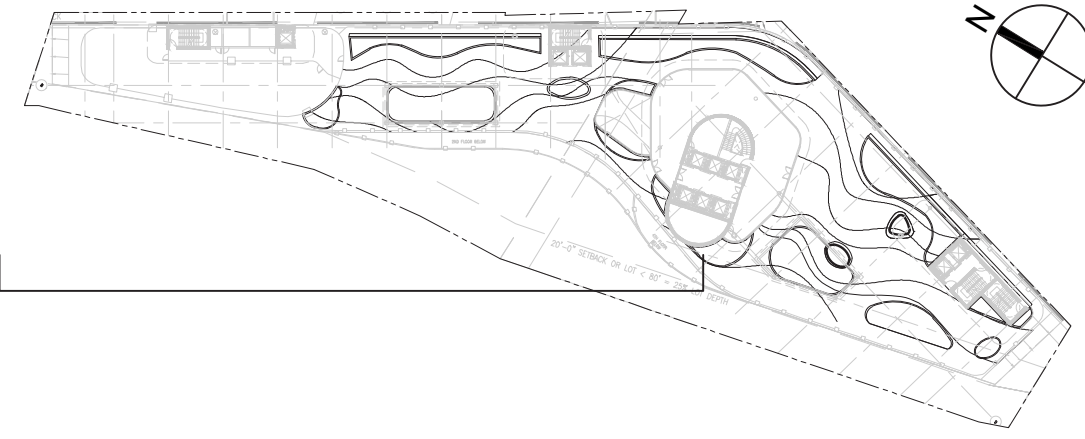
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North-East Elevation (North Bldg.)
 Scale: 1/16" = 1'-0"

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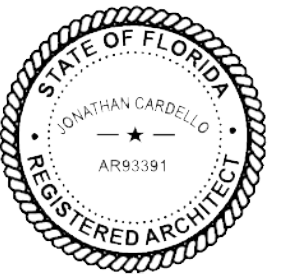
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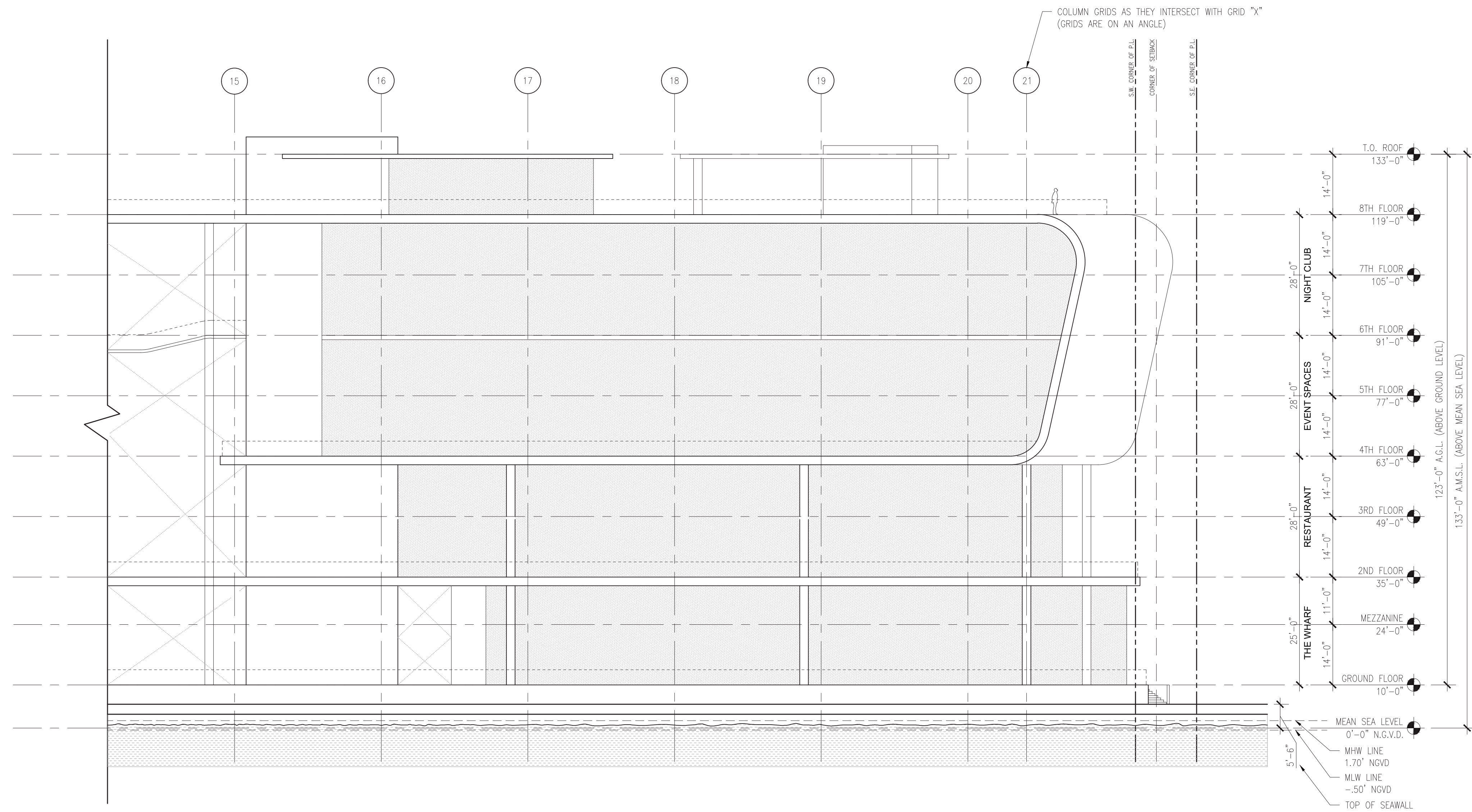
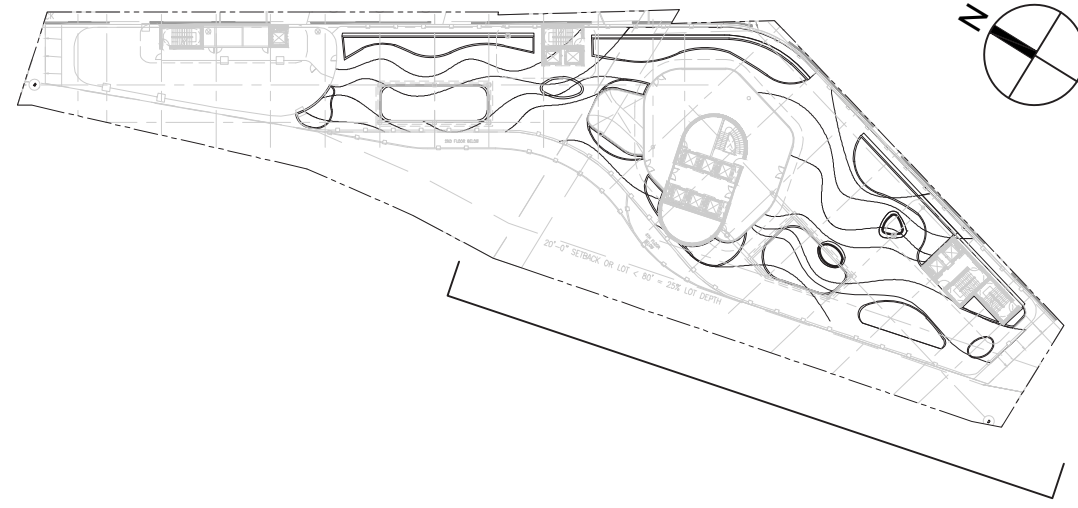
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**South-West Elevation
(North Bldg.)**
Scale: 1/16" = 1'-0"

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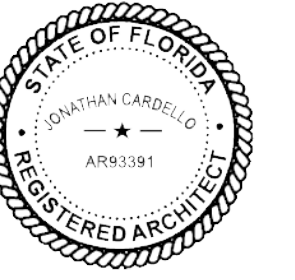
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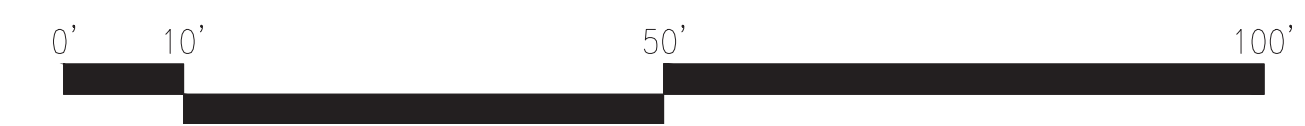
**RIVERSIDE
WHARF**
Miami, Florida

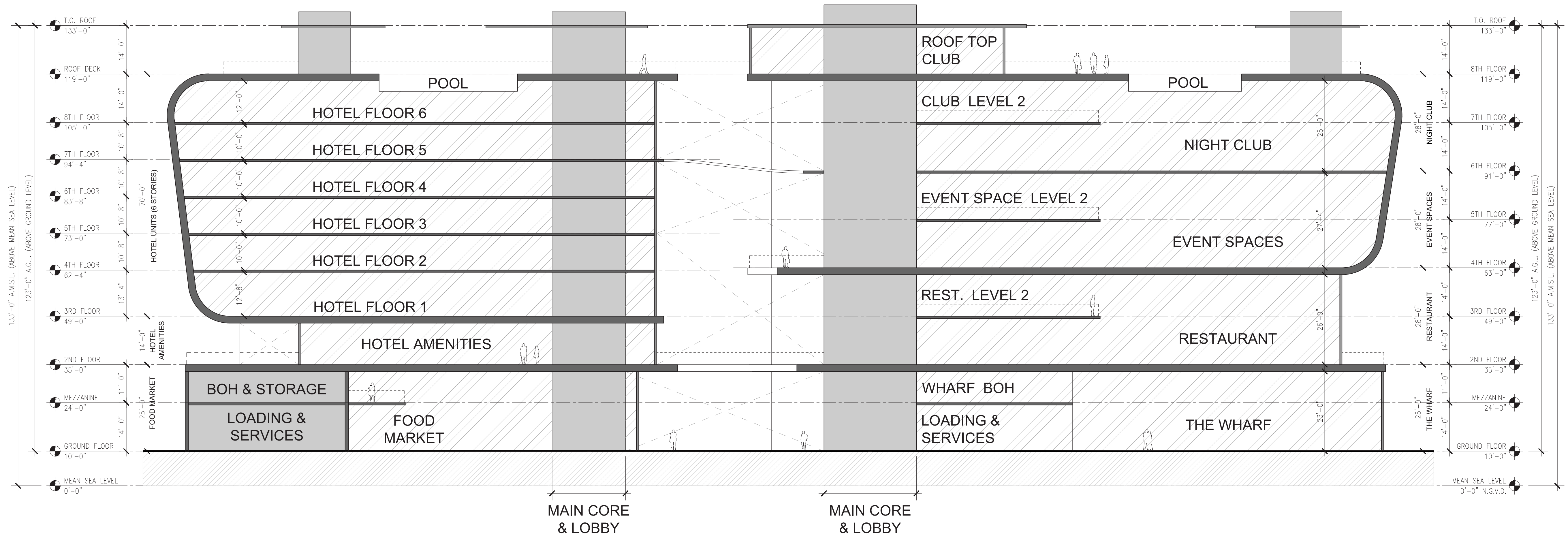
**West Elevation
(South Bldg.)**
Scale: 1/16" = 1'-0"

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A-204

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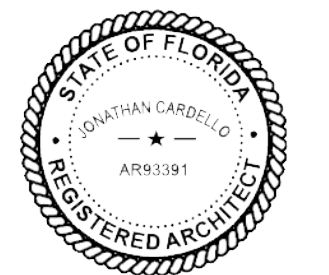
INTENT OF SECTION IS TO SHOW DESIGN, PROGRAM, HEIGHTS AND LEVEL ADJACENCIES FOR REFERENCE.



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Programmatic Building Section
Scale: 1/16" = 1'-0"

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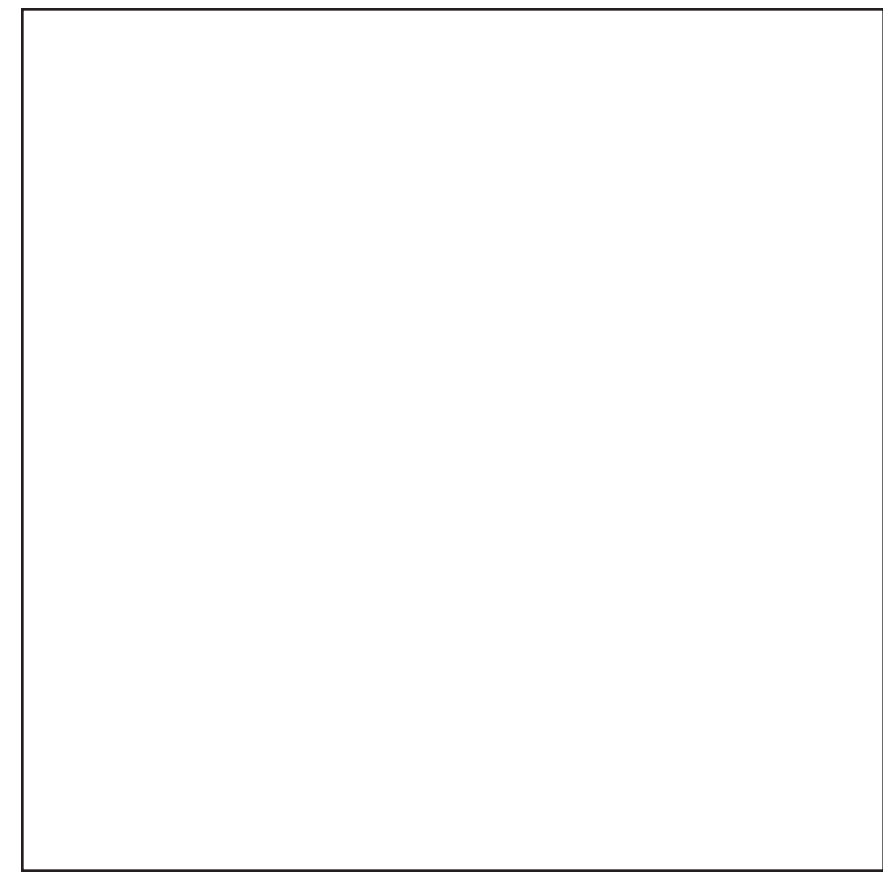
A-205

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A-300

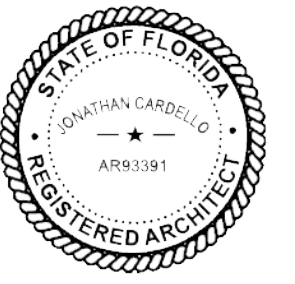
Project Imagery

- A-301 Rendering Aerial Across Miami River
- A-302 Rendering South on Miami River
- A-303 Rendering Close Aerial of Central Space
- A-304 Rendering Aerial of Highway Side
- A-305 Material Board
- A-306 Screen Details



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**RIVERSIDE
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Miami, Florida

Project Imagery

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A-300

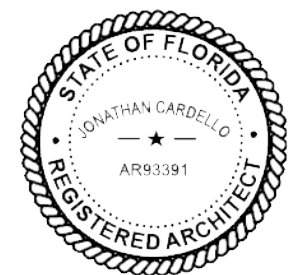
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**RIVERSIDE
WHARF**
Miami, Florida

**Rendering Aerial
Across Miami River**
Not to Scale

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A-301

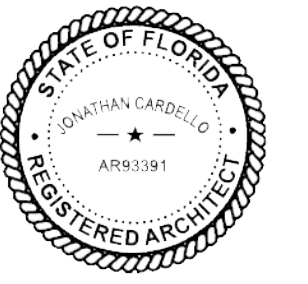
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**RIVERSIDE
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Miami, Florida

**Rendering South on
Miami River**
Not to Scale

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A-302

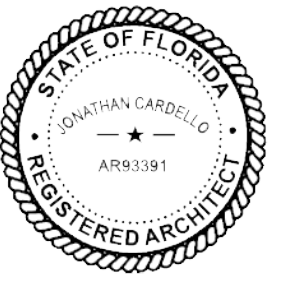
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**RIVERSIDE
WHARF**
Miami, Florida

**Rendering Close Aerial
of Central Space**
Not to Scale

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08 December 2021

A-303

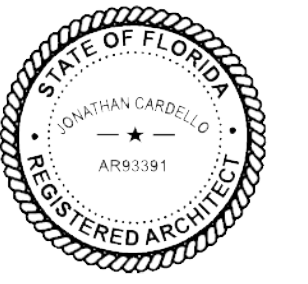
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**RIVERSIDE
WHARF**
Miami, Florida

**Rendering Aerial
of Highway Side**
Not to Scale

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A-304

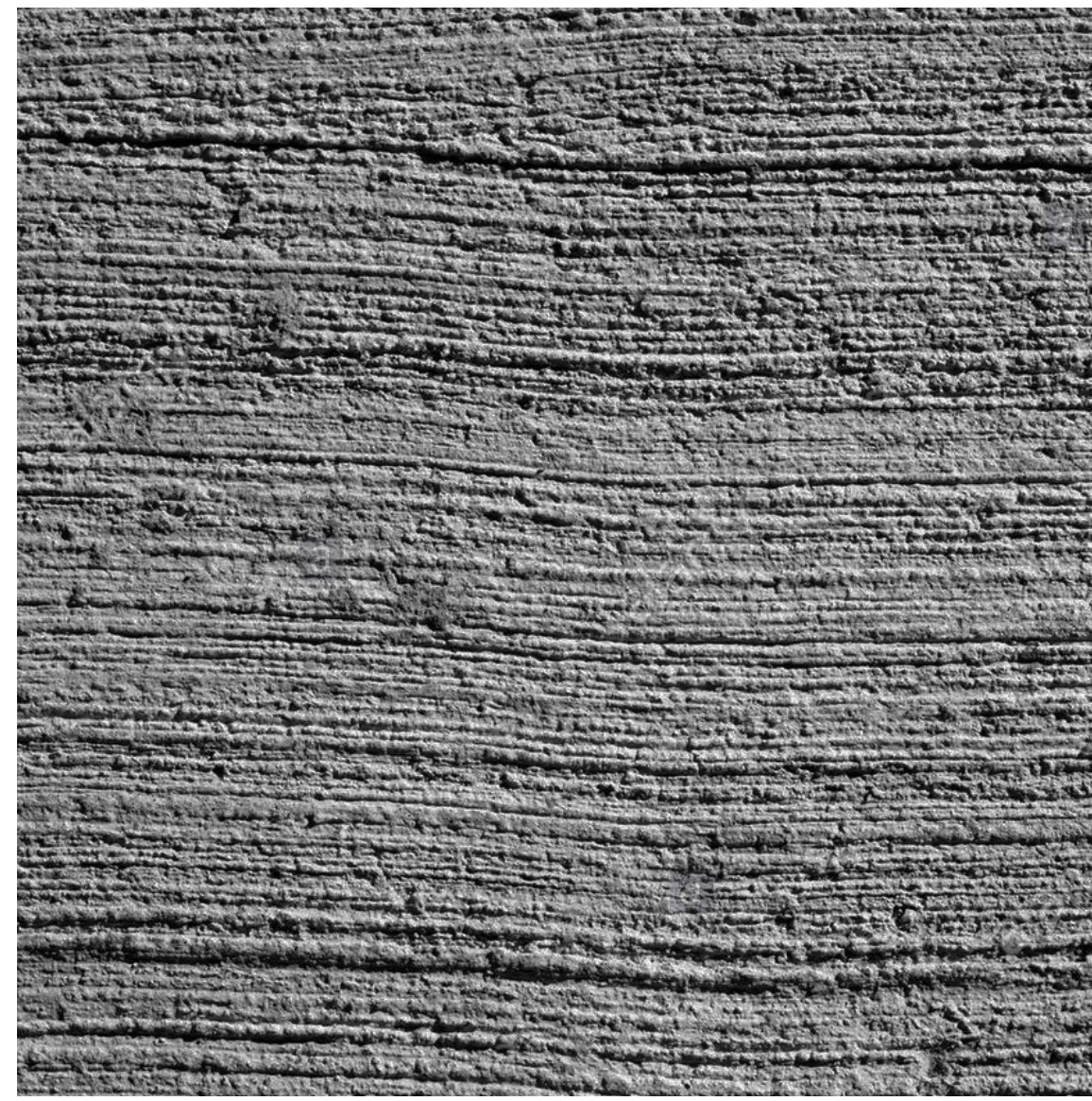
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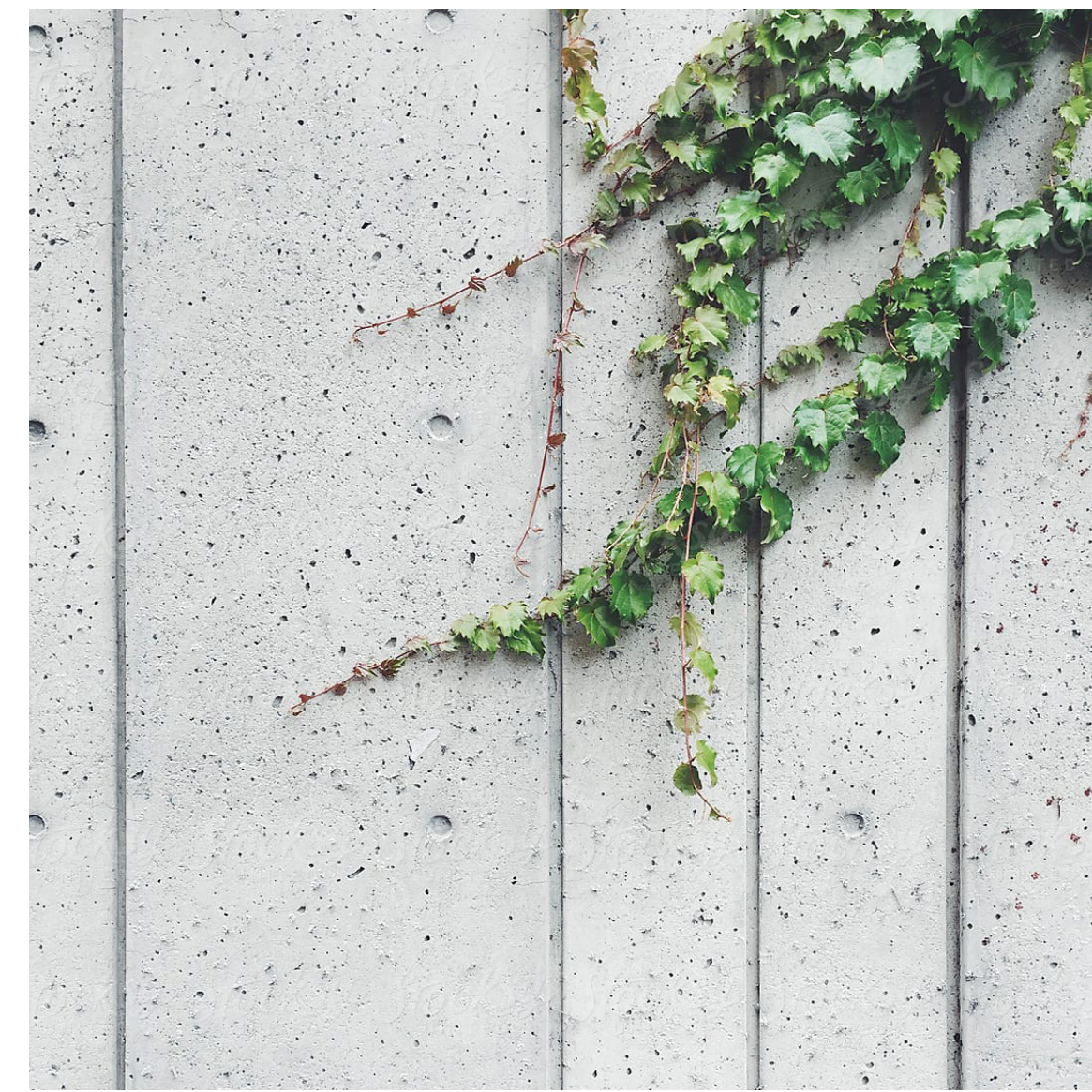
Stucco - Smooth
Color: Natural White



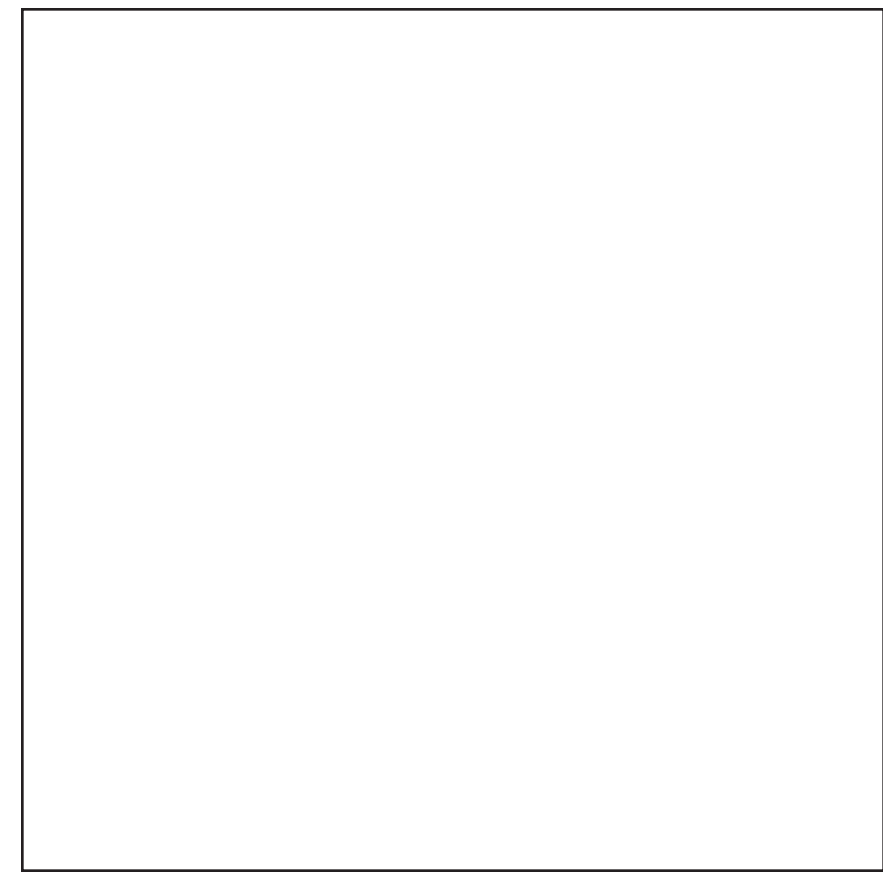
Concrete - Smooth
Color: Natural White



Concrete - Textured
Color: Natural Grey

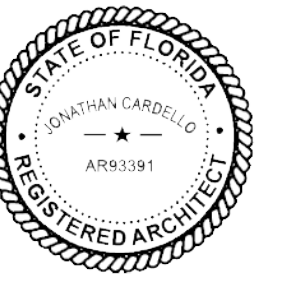


Concrete w/Vines



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Glass Window Wall
Glass: Clear | Frame: Clear Anodized Exposed

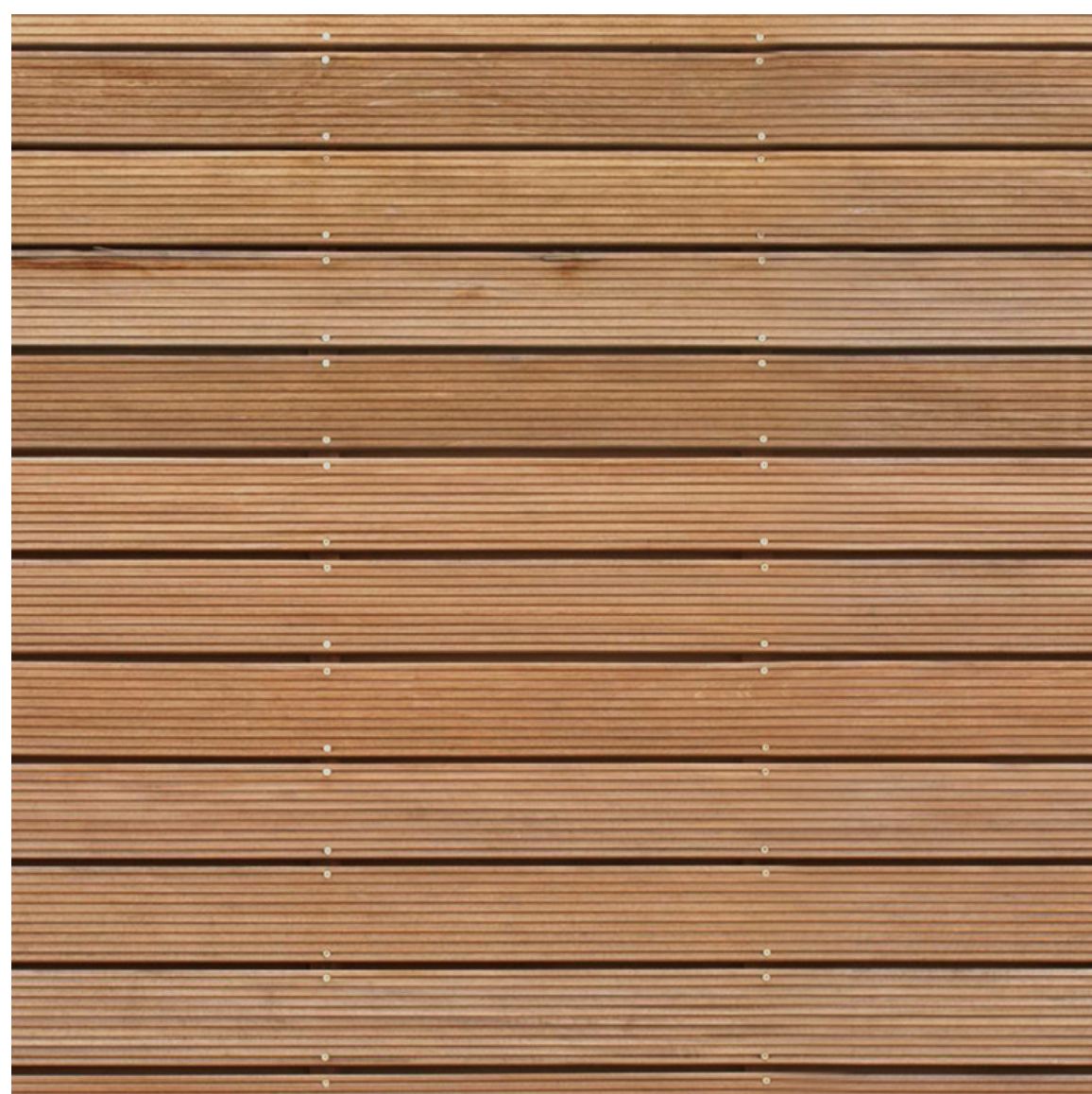


Sliding Glass Window Wall
Glass: Clear | Frame: Clear Anodized Exposed

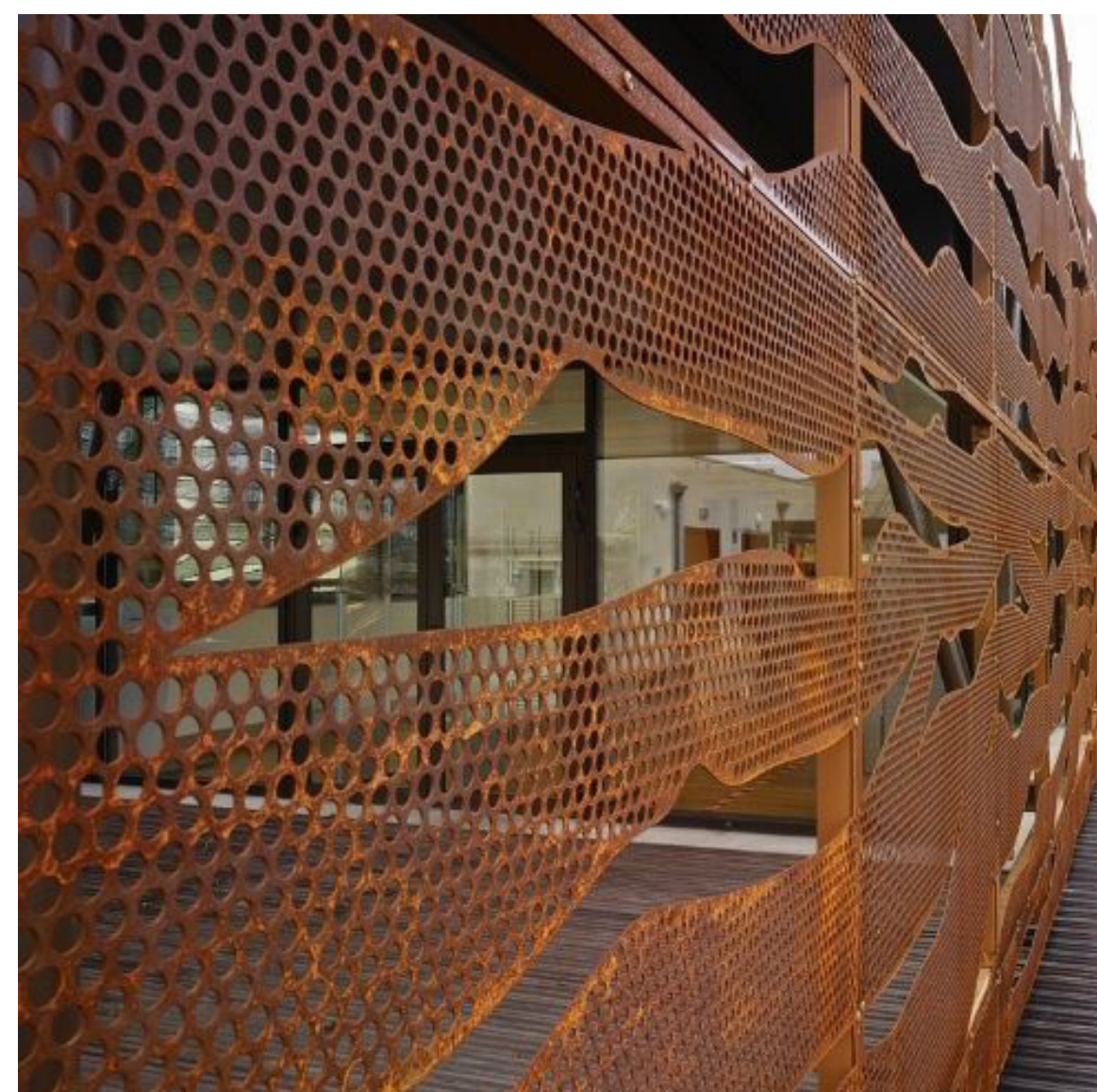


Concrete Column & Glass Window Wall

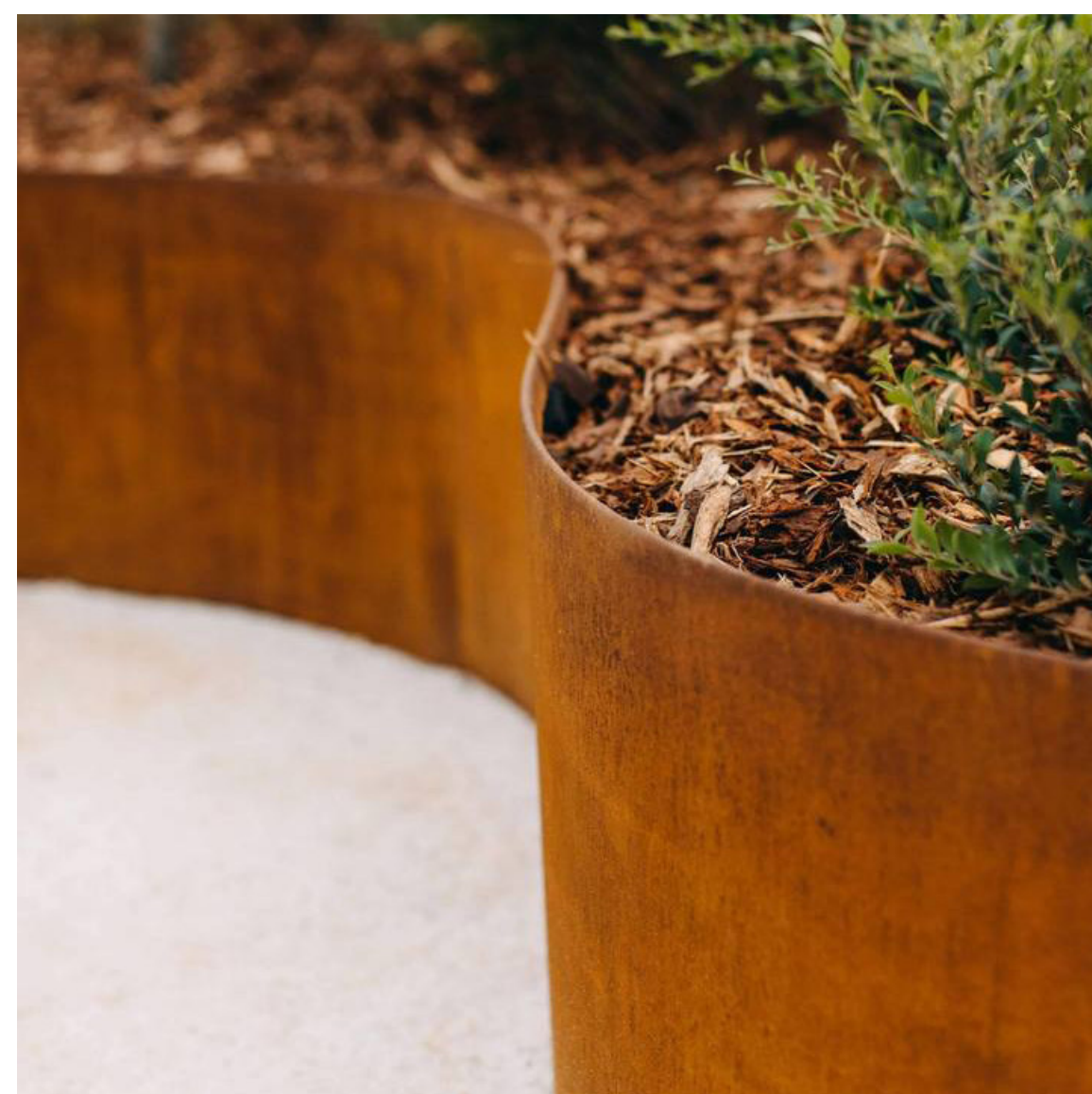
RIVERSIDE WHARF
Miami, Florida



Wood Decking
Color: Natural



Aluminum Louvered Screening
Color: Corten Steel



Corten Steel Planters



Steel plate Railings
Color: Black | Mesh or Wire

Material Board
Not to Scale

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08 December 2021

A-305

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Aluminum Louvered Screening
Color: Corten Steel

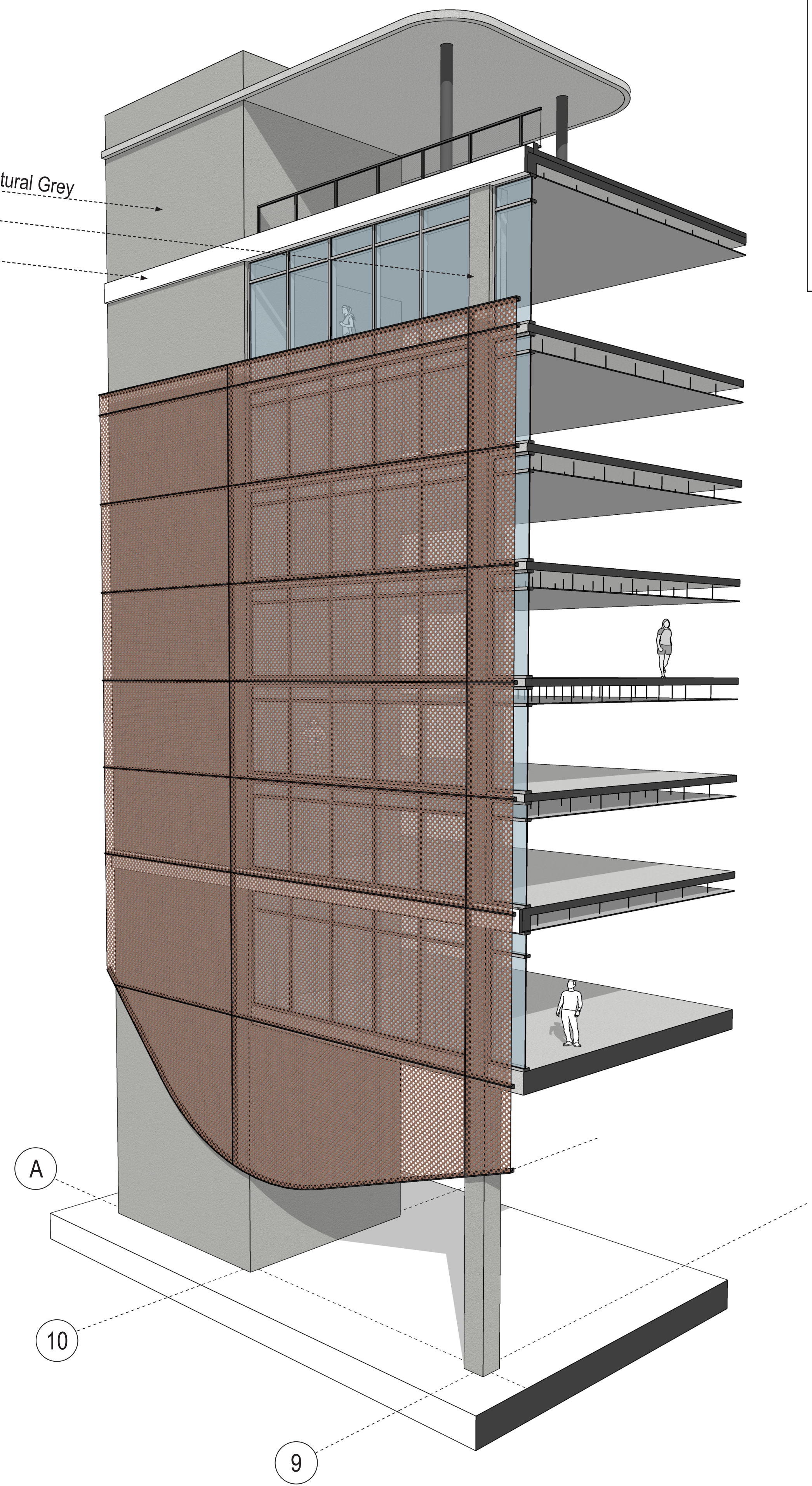
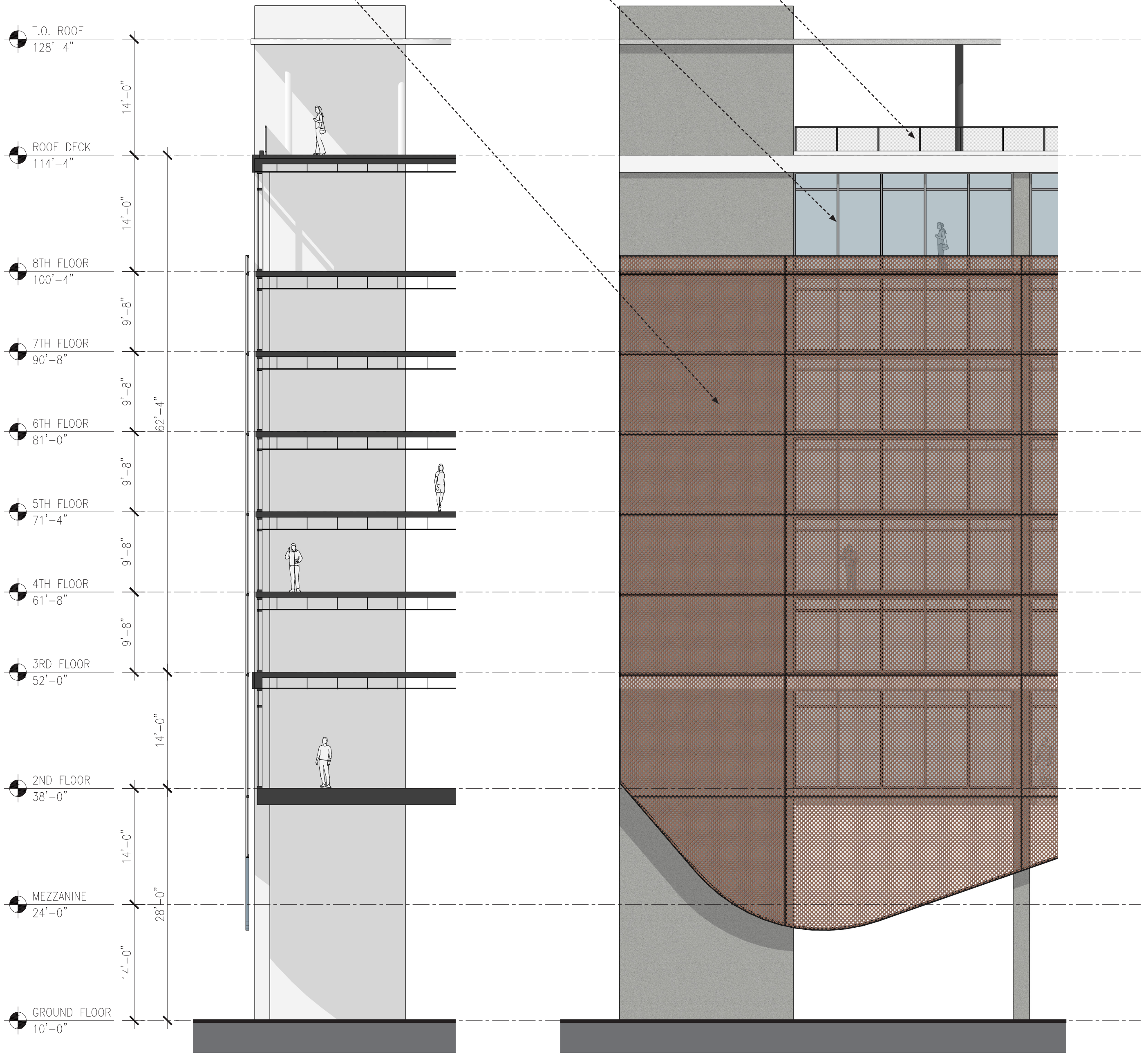
Glass Window Wall
Glass: Clear | Frame: Clear Anodized Exposed

Steel plate Railings
Color: Black | Mesh or Wire

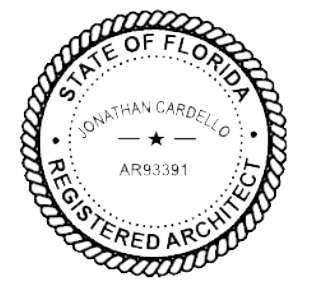
Stucco - Smooth Color: Natural White

Concrete - Smooth Color: Natural White

Concrete - Textured Color: Natural Grey



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RIVERSIDE WHARF
Miami, Florida

Screen Details

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08 December 2021

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SITE GENERAL NOTES

- All work and material shall comply with the current edition of the Florida Building Code, and all other applicable codes.
- The Contractor shall acquaint himself with the existing conditions of the site prior to construction.
- Contractor to verify all dimensions and conditions before proceeding with work. Any discrepancies between existing conditions, improvements shown on the drawings and specifications, etc. should be identified and communicated in writing for resolution by the Owner, before work commences. Written dimensions govern over plan scales or unwritten dimensions. **DO NOT SCALE DRAWINGS.**
- Coordinate all work with all subcontractors for verification of locations and dimensions of all work requirements to avoid interference with progress of construction.
- The Landscape Architect is not responsible or liable for the integrity or correctness of the existing conditions and its components. Project is based on plans and surveys provided by the Owner.
- The Contractor will secure and close all existing and new openings at the site perimeter at the end of each day's work.
- The contractor will provide adequate protection to all existing work, furnishings and fixtures that are to be retained so that they will not be damaged. Any on-site existing trees or palms specified for preservation or transplanting which are damaged or destroyed shall be replaced by GC.
- Contractor to verify existing grades shown on the survey to coordinate work shown on the drawings.
- All existing planting and other site features identified to remain or be preserved shall be properly protected during the construction process, including plant canopy and root zones. Additionally, existing planting to be retained shall be watered regularly in case of drought conditions or if plants indicate they are being stressed due to lack of water.
- All workmanship of Contractor shall be neat, clean, true, and correct.
- All existing utilities (plumbing, gas, electrical) not reused shall be properly removed, capped and/or sealed.
- Contractor shall obtain written approval for substitutions made in specified equipment, planting, materials and colors.
- All materials shall be new and shall bear Underwriters and Union labels where applicable.
- Submit shop drawings for Owner's approval of all items requiring fabrication. Do not fabricate until approved.
- Contractor is responsible to secure all construction materials stored at the job site.
- Storage of material: Contractor shall obtain owner approval for storing materials on the job site during construction.
- Insurance: Contractor shall keep full liability and workmen's compensation insurance for the project at all times during the progress of work.
- The Landscape Architect shall not have control of, charge of, and shall not be responsible for, construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, for the acts or omissions of the contractor, subcontractors or any other persons performing any of the work, or for the failure of any item to carry out the work in accordance with the contract documents.
- Testing of material: All the required tests shall be performed at the expense of the contractor and by an approved testing laboratory. The test results are to be submitted to the engineer.
- Trash: Contractor to remove all dust, trash, debris resulting from construction from the premises and restore the premises to a clean condition.

HARDSCAPE GENERAL NOTES

- The Owner's Engineer will be responsible for insuring the structural integrity and compliance with all local codes for all elements designed on this sheet.
- See Civil Drawings for all exterior finished grades at curbing, streets, driveways, utilities, amenity levels, roof levels and drainage structures.
- Contractor shall verify all dimensions and elevations on site prior to beginning construction, and any discrepancies shall be brought to the immediate attention of the Owner and Landscape Architect.
- Contractor shall stake the layout plan (or retain a registered surveyor, if required) in the field and have such staking approved by the Owner and Landscape Architect prior to proceeding with construction. The building contractor shall report all layout discrepancies immediately to the Owner and Landscape Architect for decision.
- Contractor is responsible for location and protection of all existing underground and aboveground utilities, asphalt, curbs, walks, above ground structures and vegetation as noted on the landscape plans.
- All dimensions are to face of curb unless otherwise noted.
- All planters are flush to paving surface unless otherwise noted.
- All Planter dimensions indicate open planting zone, and do not include structural planter walls.
- All angles are 90 degrees unless otherwise noted.
- All subbase and compacted Limerock requirements shall be per Miami Dade County Requirements.

ABBREVIATIONS

ABOV. Above		PROPERTY LINE
ASPH. Asphalt		MONUMENT LINE
BLDG. Building		CENTER LINE
CL Center Line		LIMIT OF WORK LINE
Conc. Concrete		MATCH LINE
DN Down		OVERHEAD/ABOVE
F.F.E. Finish Floor Elevation		OVERHEAD WIRE
max. Maximum		ROOT BARRIER
min. Minimum		
ML Monument Line		
PL Property Line		
PInt. Planting Area		
QNTY Quantity		
SDWK Sidewalk		
T.O.W. Top of Wall		
Typ. Typical		
UP Up		

LINETYPE LEGEND

	PROPERTY LINE
	MONUMENT LINE
	CENTER LINE
	LIMIT OF WORK LINE
	MATCH LINE
	OVERHEAD/ABOVE
	OVERHEAD WIRE
	ROOT BARRIER

SHEET INDEX

L- 00	Landscape General Notes & Landscape Legend
L-1.0	Tree Mitigation Plan & Schedule
L-1.1	Ground Level - Planting Plan
L-1.2	Ground Level - Hardscape
L-1.2	Ground Level - Lighting Plan
L-5.0	Rooftop - Planting Plan
L-5.1	Rooftop - Hardscape Plan
L-6.0	Planting Schedule
L-6.1	Typical Planting Details
L-6.2	Riverwalk Sections
L-6.3	Riverwalk Sections
L-6.4	Riverwalk Sections
L-6.5	Riverwalk Sections



LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS

Transect Zone: D3	Lot Area 58,753	Acres 1.35
OPEN SPACE		
A. Square feet of required Open Space, as indicated on site plan: Lot Area = 58,753 s.f. x 5% = 2,938 s.f.	REQUIRED/ALLOWED 2,938	PROVIDED 17,566
B. Square feet of parking lot open space required by Article 9, as indicated on site plan: Number of parking spaces 177 x 10 s.f. per parking space =	1,770	On-Site Parking
C. Total square feet of landscaped open space required: A+B=	4,708	17,566
LAWN AREA CALCULATION		
A. Square feet of landscaped open space required by Miami21:	2,938	6185
B. Maximum lawn area (sod) permitted = 20% x 58,753 s.f.	11,751	0
TREES		
A. Number of trees required per net lot acre, less existing number of trees meeting minimum requirements = $\frac{15}{58,753} \times 1.35 \text{ net lot acres} - \text{number of existing trees} =$	20.25	35
B. % Palms allowed: Number of trees provided x 30% =	10.5	45
C. % Natives required: Number of trees provided x 30% =	10.5	33
D. % Drought tolerant and low maintenance: Number of trees provided x 20% =	7	33
E. Street Trees (maximum average spacing of 30' o.c.): $\frac{400}{58,753} \text{ linear feet along street} / 30 =$	13.3	9
% Palms permitted to count towards street trees on 1:1 basis x 30%:	13.3	4
F. Street trees located directly beneath power lines: (maximum average spacing of 25' o.c.): $\frac{75}{58,753} \text{ linear feet along street} / 25 =$	n/a	n/a
SHRUBS		
A. Number of shrubs required: Number of trees required x 10 =	133	998
B. % Native shrubs required: Number of shrubs provided x 30% =	299	853
C. % Drought tolerant and low maintenance required: Number of shrubs provided x 20% =	200	853

GENERAL SYMBOL LEGEND

	GATE
	BOLLARD
	TRASH RECEPTACLE
	TABLE AND 4 CHAIRS, ROUND
	TABLE AND 4 CHAIRS, SQUARE
	BICYCLE RACK
	TABLE AND 2 CHAIRS
	CHAISE LOUNGE
	BISTRO TABLE AND 2 CHAIRS
	BENCH
	CUSTOM STONE BENCH

DRAWING SYMBOL LEGEND

	STEPS
	RAMPS
	ELEVATION MARKER
	SECTION MARKER
	ENLARGEMENT

PLANTING SYMBOL LEGEND

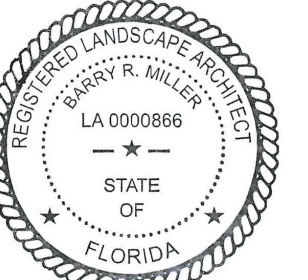
	PLANTING AREA
	PLANT TAG



savinmiller
DESIGN STUDIO

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Barry.R.Miller, RLA



RIVERSIDE
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Landscape

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08 December 2021

L-00

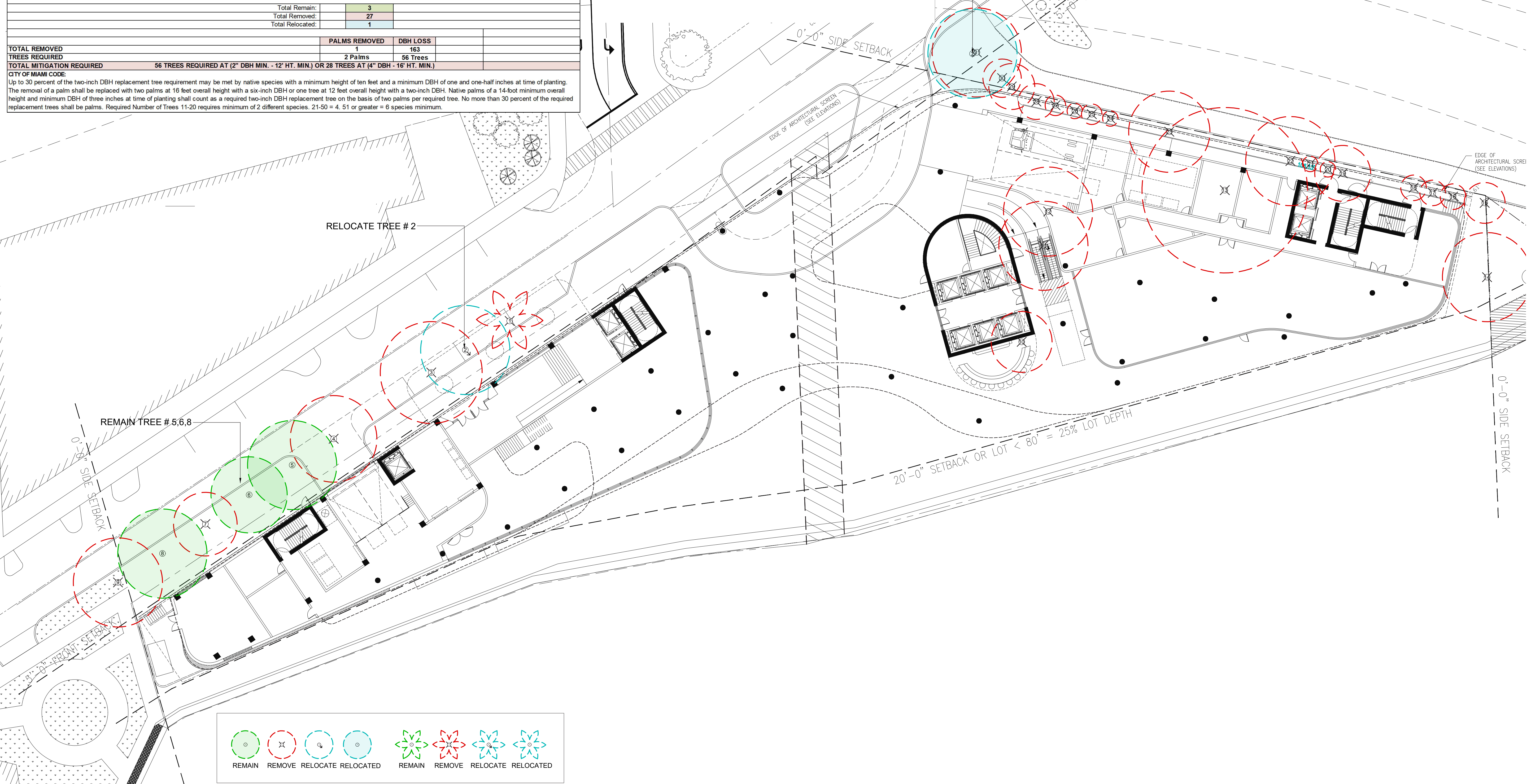
ITEM	SCIENTIFIC NAME	COMMON NAME	DBH (IN)	HT (FT)	SP (FT)	CONDITION	TPZ	DISPOSITION	PALM LOSS	DBH LOSS (in)	REASON - NOTES
1	Cocos nucifera	Coconut palm	10	28	26	Good		Remove	1		
2	Swietenia mahagoni	Mahogany	17	40	35	Good	15'	Relocate			Relocating within project site
3	Swietenia mahagoni	Mahogany	15	45	40	Good		Remove		15	Relocating within project site
4	Swietenia mahagoni	Mahogany	16	30	34	Poor		Remove		16	Poor Condition
5	Swietenia mahagoni	Mahogany	10	40	35	Good	12'	Remain			Poor Condition
6	Swietenia mahagoni	Mahogany	12	60	30	Moderate	12'	Remain			Poor Condition
7	Swietenia mahagoni	Mahogany	7	35	25	Moderate		Remove		7	Poor Condition
8	Swietenia mahagoni	Mahogany	14	50	35	Moderate	15'	Remain			Poor Condition
9	Swietenia mahagoni	Mahogany	13	40	35	Moderate		Remove		13	Poor Condition
10	Leucaena leucocephala	Lead tree	7	20	24	Invasive		Remove		n/a	Invasive Species
11	Schinus terebinthifolius	Brazilian pepper	15	35	35	Invasive		Remove		n/a	Invasive Species
12	Ficus benjamina	Weeping fig	11	30	35	Poor		Remove		11	Poor Condition
13	Ficus aurea	Strangler fig	40	45	65	Poor		Remove		40	Poor Condition
14	Schinus terebinthifolius	Brazilian pepper	18	28	35	Invasive		Remove		n/a	Invasive Species
15	Ficus benjamina	Weeping fig	6	25	16	Poor		Remove		6	Poor Condition
16	Ficus benjamina	Weeping fig	6	22	10	Poor		Remove		6	Poor Condition
17	Ficus benjamina	Weeping fig	7	22	10	Poor		Remove		7	Poor Condition
18	Ficus benjamina	Weeping fig	4	16	10	Poor		Remove		4	Poor Condition
19	Schinus terebinthifolius	Brazilian pepper	16	24	22	Invasive		Remove		n/a	Invasive Species
20	Ficus benjamina	Weeping fig	3	15	6	Poor		Remove		3	Poor Condition
21	Ficus benjamina	Weeping fig	3	15	6	Poor		Remove		3	Poor Condition
22	Schinus terebinthifolius	Brazilian pepper	9	22	35	Invasive		Remove		n/a	Invasive Species
23	Leucaena leucocephala	Lead tree	8	40	32	Invasive		Remove		n/a	Invasive Species
24	Ficus benjamina	Weeping fig	3	16	6	Poor		Remove		3	Poor Condition
25	Ficus benjamina	Weeping fig	3	16	8	Poor		Remove		3	Poor Condition
26	Ficus benjamina	Weeping fig	4	15	8	Poor		Remove		4	Poor Condition
27	Ficus benjamina	Weeping fig	3	14	8	Poor		Remove		3	Poor Condition
28	Ficus benjamina	Weeping fig	6	23	14	Poor		Remove		6	Poor Condition
29	Schinus terebinthifolius	Brazilian pepper	8	26	18	Invasive		Remove		n/a	Invasive Species
30	Schinus terebinthifolius	Brazilian pepper	7	28	15	Invasive		Remove		n/a	Invasive Species
31	Ficus benjamina	Weeping fig	13	35	35	Poor		Remove		13	Poor Condition

Total Remain:	3
Total Removed:	27
Total Relocated:	1

TOTAL REMOVED TREES REQUIRED	PALMS REMOVED	DBH LOSS
TOTAL MITIGATION REQUIRED	2 Palms	163
	56 TREES REQUIRED AT (2" DBH MIN. - 12' HT. MIN.) OR 28 TREES AT (4" DBH - 16' HT. MIN.)	56 Trees

CITY OF MIAMI CODE:
 Up to 30 percent of the two-inch DBH replacement tree requirement may be met by native species with a minimum height of ten feet and a minimum DBH of one and one-half inches at time of planting. The removal of a palm shall be replaced with two palms at 16 feet overall height with a six-inch DBH or one tree at 12 feet overall height with a two-inch DBH. Native palms of a 14-foot minimum overall height and minimum DBH of three inches at time of planting shall count as a required two-inch DBH replacement tree on the basis of two palms per required tree. No more than 30 percent of the required replacement trees shall be palms. Required Number of Trees 11-20 requires minimum of 2 different species. 21-50 = 4, 51 or greater = 6 species minimum.

QTY	SCIENTIFIC NAME	COMMON NAME	DBH (IN)	HT (FT)	SP (FT)	NATIVE	DBH
6	Bursera simaruba	Gumbo Limbo	4	16	12	N	24
2	Kigelia pinnata	Sausage Tree	4	16	12	N	8
3	Lysiloma latisiliqua	Wild Tamarind	4	16	12	N	12
1	Swietenia mahagoni	Mahogany	4	16	12	N	4
DBH: 48							
Upper Level Planting							
2	Coccoloba uvifera	Sea Grape	6	22	14	N	12
DBH: 12							
TOTAL DBH: 60							
14 28 Required 4" DBH Trees - 9 Proposed 4" DBH Trees = 19 = 38 Trees Required at 2" DBH Remaining							
PROPOSED 3 1/2" DBH:							
20	Conocarpus erectus	Green Buttonwood	3	12	8	N	60
3	Conocarpus erectus 'sericeus'	Silver Buttonwood	3	12	7	N	9
DBH: 69							
Upper Level Planting - 2nd, 4th, 6th and Roof Level							
3	Conocarpus erectus	Green Buttonwood	3	12	8	N	9
4	Conocarpus erectus 'sericeus'	Silver Buttonwood	3	12	7	N	12
1	Noronhia emarginata	Madagascar Olive	2	12	8	N	2
7	Myrcianthes fragans*	Simpson Stopper*	1.5	10	6	N	10.5
DBH: 33.5							
TOTAL DBH: 102.5							
38 38 Required 2" DBH Trees - 38 Proposed 2" DBH Trees = Mitigation Requirement Met							
MIN. NUMBER OF SPECIES REQUIRED							
Required: 6				DBH REPLACEMENT IN INCHES			
Proposed: 11				Total DBH Removed: 183			
				Total DBH Replaced: 162.5			
*30% of 2" DBH Required may be Native Trees at 10' HT and 1 1/2" DBH. Max: 13, Proposed: 4							



CUBE3

savinomiller
DESIGN STUDIO

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Barry.R.Miller, RLA

RIVERSIDE WHARF
Miami, Florida

TREE MITIGATION PLAN
Scale: 1" = 20'-0"

MRC Submission
08 December 2021

L-1.0

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THE WHARF - PLANTING SCHEDULE - UDRB - GROUND FLOOR

TREES	Quantity	Botanical/Common
BUS	6	Bursera simaruba / Gumbo Limbo
COE	20	Conocarpus erectus / Green Buttonwood
COE-S	3	Conocarpus erectus 'sericeus' / Silver Buttonwood
KIP	2	Kigelia pinnata / Sausage Tree
LYL	3	Lysiloma latisiliqua / Wild Tamarind
SWM	1	Swietenia mahogany / Mahogany
Total	35	
PALMS	Quantity	Botanical/Common
CON	10	Cocos nucifera 'Malayan' / Malayan Coconut Palm
CON-C	4	Cocos nucifera 'Malayan' / Malayan Coconut Palm
PTE	6	Ptychosperma elegans / Solitaire Palm
ROE	4	Roystonea elata / Florida Royal Palm
SAP	13	Sabal palmetto / Sabal Palm
SAB-S	8	Sabal palmetto / Sabal Palm
Total	45	
SHRUBS	Quantity	Botanical/Common
CHIH	357	Chrysobalanus icaco 'Horizontalis' / Horizontal Cocoplum
CHI	98	Chrysobalanus icaco 'Red Tip' / Red Tip Cocoplum
MUC	63	Muhlenbergia capillaris / Pink Muhly Grass
PSL	25	Psychotria ligustrifolia / Bahama Coffee
TRC	47	Trachelospermum jasminoides / Confederate Jasmine
TRM	98	Trimezia martinicensis / Yellow Walking Iris
TRD	108	Tripsacum dactyloides / Fakahatchee Grass
ZAP	202	Zamia pumila / Coontie
Total	998	
GROUNDCOVERS	Quantity	Botanical/Common
FIP-G	140	Ficus pumila / Creeping Fig - Ficus Repens
NEE	269	Nephrolepis exaltata / Boston Fern

*NOTES: SEE FULL PLANTING SCHEDULE ON LH-6.0



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**RIVERSIDE
WHARF**
Miami, Florida

**GROUND LEVEL
PLANTING PLAN**

Scale: 1" = 20'-0"



MRC Submission
08 December 2021

L-1.1

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HARDSCAPE SCHEDULE					
PATTERN	KEY	DESCRIPTION / SIZE	QTY	SPECS	LOCATION/NOTES
	1	CONCRETE, INTEGRAL COLOR WITH EXPOSED AGGREGATE	24,564	MESA BEIGE SCOPFIELD C-12 WITH EXPOSED #3 COQUINA SHELL AGGREGATE, LIGHT SANDBLAST FINISH	SIDEWALK & ATRIUM TERRACE & STEPS DOWN TO RIVERWALK
	2	PERMEABLE CONCRETE PLANK PAVERS (PEDESTRIAN)	6,188	3-1/8" TH. X 3" X 12", RUNNING BOND PATTERN	RIVERWALK
	3	PERMEABLE CONCRETE PLANK PAVERS (VEHICULAR)	16,874	3-1/8" TH. X 3" X 12", RUNNING BOND PATTERN, 2 COLORS	DRIVEWAY & TURN AROUND
	4	CONCRETE PAVERS WITH EXPOSED AGGREGATE	6,918	3-1/8" TH. X 3" X 12", RUNNING BOND PATTERN	ROOFTOP
	5	CONCRETE PAVERS WITH EXPOSED AGGREGATE	7,495	3-1/8" TH. X 3" X 12", RUNNING BOND PATTERN	ROOFTOP
	6	TREE GRATES	742	CORTEN STEEL	RIVERWALK
	7	ARTIFICIAL GRASS	3,827	TBD	ATRIUM / GAME AREA
	8	WOOD DECK	5,773	TBD	ATRIUM
	9	RIVERROCK ON MORTAR BED	5,773	3' WIDE	RIVERWALK, ALONG SEAWALL

NOTE: QUANTITIES INCLUDE 5% OVERAGE. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT QUANTITIES OF MATERIALS INDICATED TO COMPLETE WORK



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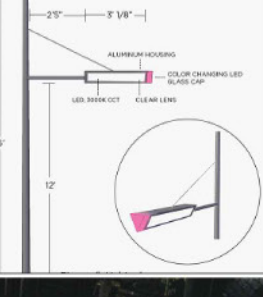

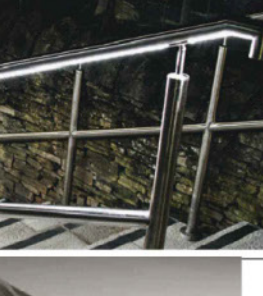
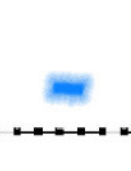



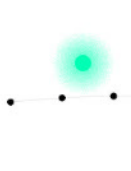
GROUND LEVEL HARDSCAPE
Scale: 1" = 20'-0"

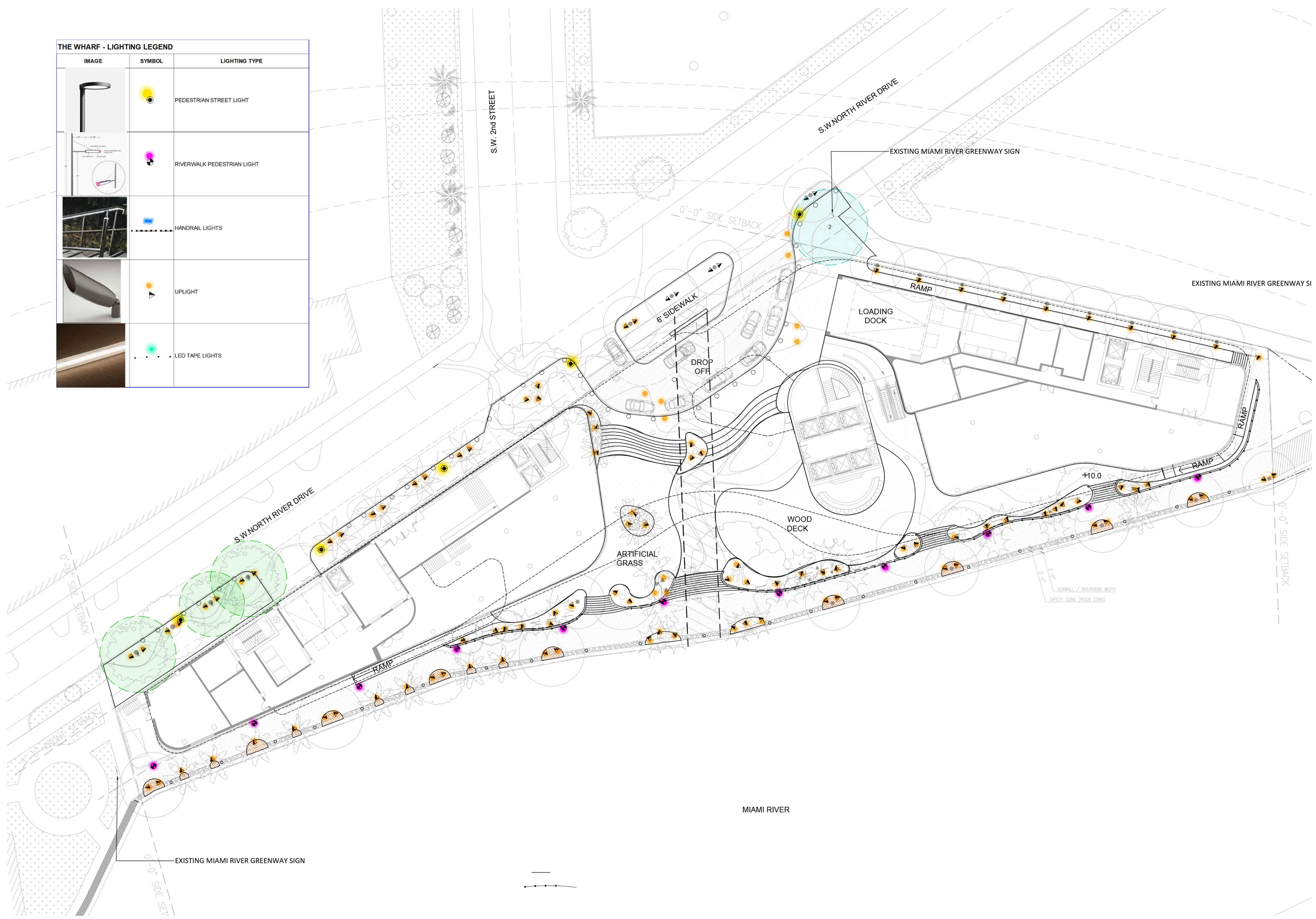


MRC Submission
08 December 2021

L-1.2

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IMAGE	SYMBOL	LIGHTING TYPE
		PEDESTRIAN STREET LIGHT
		RIVERWALK PEDESTRIAN LIGHT
		HANDRAIL LIGHTS
		UPLIGHT
		LED TAPE LIGHTS



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RIVERSIDE WHARF
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GROUND LEVEL LIGHTING PLAN
Scale: 1" = 20'-0"



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08 December 2021

L-1.3

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THE WHARF - PLANTING SCHEDULE - UDRB - ROOF LEVEL		
TREES	Quantity	Botanical/Common
COU	2	Coccoloba uvifera / Seagrape
COE-S	4	Conocarpus erectus 'sericeus' / Silver Buttonwood
MYF	7	Myrcianthes fragans / Simpson Stopper
NOE	1	Noronhia emarginata / Madagascar Olive
Total	14	
PALMS	Quantity	Botanical/Common
CON	12	Cocos nucifera 'Malayan' / Malayan Coconut Palm
SAP	32	Sabal palmetto / Sabal Palm
Total	44	
SHRUBS	Quantity	Botanical/Common
MUC	37	Muhlenbergia capillaris / Pink Muhly Grass
SPP	46	Spathoglottis plicata / Ground Orchid
TRM	458	Trimezia martinicensis / Yellow Walking Iris
ZAP	155	Zamia pumila / Coontie
Total	696	
GROUNDCOVERS	Quantity	Botanical/Common
ARG	132	Arachis glabrata / Perennial Peanut
Total	132	
SOD		
ZOY	582	Zoysia 'Cashmere' Sod

*NOTES: SEE FULL PLANTING SCHEDULE ON LH-6.0



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RIVERSIDE
WHARF
Miami, Florida

ROOFTOP
PLANTING PLAN
Scale: 1" = 20'-0"



MRC Submission
08 December 2021

L-5.0

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HARDSCAPE SCHEDULE					
PATTERN	KEY	DESCRIPTION / SIZE	QTY	SPECS	LOCATION/NOTES
	①	CONCRETE, INTEGRAL COLOR WITH EXPOSED AGGREGATE	24,564	MESA BEIGE SCOPFIELD C-12 WITH EXPOSED #3 COQUINA SHELL AGGREGATE, LIGHT SANDBLAST FINISH	SIDEWALK & ATRIUM TERRACE & STEPS DOWN TO RIVERWALK
			SF	ALT.- PERLATINO (EARTH SURFACE OF ARMERICA)	
	②	PERMEABLE CONCRETE PLANK PAVERS (PEDESTRIAN)	6,188	3-1/8" TH. X 3" X 12", RUNNING BOND PATTERN	RIVERWALK
			SF		
	③	PERMEABLE CONCRETE PLANK PAVERS (VEHICULAR)	16,874	3-1/8" TH. X 3" X 12", RUNNING BOND PATTERN, 2 COLORS	DRIVEWAY & TURN AROUND
			SF		
	④	CONCRETE PAVERS WITH EXPOSED AGGREGATE	6,918	3-1/8" TH. X 3" X 12", RUNNING BOND PATTERN	ROOFTOP
			SF		
	⑤	CONCRETE PAVERS WITH EXPOSED AGGREGATE	7,495	3-1/8" TH. X 3" X 12", RUNNING BOND PATTERN	ROOFTOP
			57		
	⑥	TREE GRATES	742	CORTEN STEEL	RIVERWALK
	⑦	ARTIFICIAL GRASS	3,827	TBD	ATRIUM / GAME AREA
			SF		
	⑧	WOOD DECK	5,773	TBD	ATRIUM
			SF		
	⑨	RIVERROCK ON MORTAR BED	5,773	3' WIDE	RIVERWALK, ALONG SEAWALL
			SF		

NOTE: QUANTITIES INCLUDE 5% OVERAGE. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT QUANTITIES OF MATERIALS INDICATED TO COMPLETE WORK



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RIVERSIDE WHARF
Miami, Florida

ROOFTOP HARDSCAPE PLAN
-REVISION 2
Scale: 1" = 20'-0"



MRC Submission
08 December 2021

L-5.1

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THE WHARF - PLANTING SCHEDULE - UDRB - GROUND FLOOR												
TREES	Quantity	Botanical/Common	Cont	DBH	Height	Spread	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
BUS	6	Bursera simaruba / Gumbo Limbo	B & B	4"	16'-18' Ht.	10'-12' Spr.	Full branching, Fl. Fancy	N	PSH-FS	Medium	High	B,C
COE	20	Conocarpus erectus / Green Buttonwood	B&B	3"	12'-14' Ht.	8'-9' Spr.	Multi-Trunk Tree Form	N	FS	High	High	BF,C
COE-S	3	Conocarpus erectus 'sericeus' / Silver Buttonwood	B&B	3"	10'-12' Ht.	6'-7' Spr.	Multi-Trunk Tree Form	N	FS	High	High	BF,C
KIP	2	Kigelia pinnata / Sausage Tree	B&B	4"	16'-18' Ht.	9'-10' Spr.	4' C.T. - Specimen		FS	Medium	Medium	
LYL	3	Lysiloma latisiliqua / Wild Tamarind	B&B	4"	16'-18' Ht.	10'-12' Spr.	Multi-Trunk, 4' C.T.	N	FS	Medium	High	B,BF,C
SWM	1	Swietenia mahogany / Mahogany	B&B	4"	16'-18' Ht.	10'-12' Spr.	4' Clear Trunk	N	PSH-FS	High	High	BF
Total	35											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, FS - Full Sun, FSH - Full Shade, N - Native, PSH - Part Shade												
PALMS	Quantity	Botanical/Common	Cont	DBH	Size	Spr	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
CON	10	Cocos nucifera 'Malayan' / Malayan Coconut Palm	B&B		10'-12' Ht.				FS	High	Medium	
CON-C	4	Cocos nucifera 'Malayan' / Malayan Coconut Palm	B&B		12'-14' Ht.		Curved		FS	High	Medium	
PTE	6	Ptychosperma elegans / Solitaire Palm	B&B		10' - 12' OA Ht.				PSH	Low-None	High	B
ROE	4	Roystonea elata / Florida Royal Palm	B&B		24' GW		Grey Wood Sizes	N	PSH-FS	Medium	Medium	
SAP	13	Sabal palmetto / Sabal Palm	B&B		10'-20' G.W.		booted, hurricane cut	N	PSH-FS	High	High	B,BF
SAB-S	8	Sabal palmetto / Sabal Palm	B&B		12'-14' Ht.		Super Curved	N	PSH-FS	High	High	B,BF
Total	45											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, FS - Full Sun, FSH - Full Shade, N - Native, PSH - Part Shade												
SHRUBS	Quantity	Botanical/Common	Cont	DBH	Size	Spacing	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
CHI	357	Chrysobalanus icaco 'Horizontalis' / Horizontal Cocoplum	3 Gal.		18"-24" OA Ht.	24" O.C.	Full	N	PSH-FS	High	Medium	B,BF
CHI	98	Chrysobalanus icaco 'Red Tip' / Red Tip Cocoplum	3 Gal.		24"-30" OA Ht.	30" o.c.		N	PSH-FS	High	Medium	B,BF
MUC	63	Muhlenbergia capillaris / Pink Muhly Grass	3 Gal.		18"-24" OA Ht.	30" O.C.		N	PSH-FS	Medium	Medium	
PSL	25	Psychotria ligustrifolia / Bahama Coffee	3 Gal.		18"-24" OA Ht.	24" O.C.		N	PSH	None	Medium	BF
TRC	47	Trachelospermum jasminoides / Confederate Jasmine	3 Gal.		12"-18" OA Ht.	18" O.C.						
TRM	98	Trimezia martinicensis / Yellow Walking Iris	3 Gal.		12"-18" OA Ht.	18" O.C.						
TRD	108	Tripsacum dactyloides / Fakahatchee Grass	3 Gal.		18"-24" OA Ht.	36" O.C.		N	PSH-FS	High	Medium	B,C
ZAP	202	Zamia pumila / Coontie	3 Gal.		12"-18" OA Ht.	18" O.C.		N	PSH-FS	Medium	Medium	C
Total	998											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, FS - Full Sun, FSH - Full Shade, N - Native, PSH - Part Shade												
GROUNDCOVERS	Quantity	Botanical/Common	Cont	DBH	Size	Spacing	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
FIP-G	140	Ficus pumila / Creeping Fig - Ficus Repens	3 Gal.		12"-18" OA Ht.	18" O.C.						
NEE	269	Nephrolepis exaltata / Boston Fern	3 Gal.		12"-18" OA Ht.	18" O.C.		N	PSH-FS	None	Medium	
RHI	134	Raphiolepis indica 'Pink' / Indian Hawthorn	3 Gal.		12"-18" OA Ht.	18" O.C.				Medium	Medium	
SPB	42	Spartina bakeri / Sand Cord Grass	3 Gal.		18"-24" OA Ht.	36" O.C.		N	FS	High	High	C
Total	445											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, FS - Full Sun, FSH - Full Shade, N - Native, PSH - Part Shade												

THE WHARF - PLANTING SCHEDULE - UDRB - 2ND LEVEL												
TREES	Quantity	Botanical/Common	Cont	DBH	Height	Spread	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
COE	2	Conocarpus erectus / Green Buttonwood	B&B	3"	12'-14' Ht.	8'-9' Spr.	Multi-Trunk Tree Form	N	FS	High	High	BF,C
Total	2											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, FS - Full Sun, FSH - Full Shade, N - Native, PSH - Part Shade												
PALMS	Quantity	Botanical/Common	Cont	DBH	Size	Spr	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
SAP	5	Sabal palmetto / Sabal Palm	B&B		10'-20' G.W.		booted, hurricane cut	N	PSH-FS	High	High	B,BF
SAB-C	1	Sabal palmetto / Sabal Palm	B&B		16'-18' Ht.		Curved	N	PSH-FS	High	High	B,BF
Total	6											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, FS - Full Sun, FSH - Full Shade, N - Native, PSH - Part Shade												
SHRUBS	Quantity	Botanical/Common	Cont	DBH	Size	Spacing	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
TRC	138	Trachelospermum jasminoides / Confederate Jasmine	3 Gal.		12"-18" OA Ht.	18" O.C.						
ZAP	68	Zamia pumila / Coontie	3 Gal.		12"-18" OA Ht.	18" O.C.		N	PSH-FS	Medium	Medium	C
Total	206											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, FS - Full Sun, FSH - Full Shade, N - Native, PSH - Part Shade												
GROUNDCOVERS	Quantity	Botanical/Common	Cont	DBH	Size	Spacing	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
PTS	33	Phymatosorus scolopendria / Wart Fern	3 Gal.		12"-18" OA Ht.	30" O.C.						
Total	33											

THE WHARF - PLANTING SCHEDULE - UDRB - 4TH LEVEL												
TREES	Quantity	Botanical/Common	Cont	DBH	Height	Spread	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
COE	1	Conocarpus erectus / Green Buttonwood	B&B	3"	12'-14' Ht.	8'-9' Spr.	Multi-Trunk Tree Form	N	FS	High	High	BF,C
Total	1											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, FS - Full Sun, FSH - Full Shade, N - Native, PSH - Part Shade												
PALMS	Quantity	Botanical/Common	Cont	DBH	Size	Spr	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
SAP	3	Sabal palmetto / Sabal Palm	B&B		10'-20' G.W.		booted, hurricane cut	N	PSH-FS	High	High	B,BF
Total	3											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, FS - Full Sun, FSH - Full Shade, N - Native, PSH - Part Shade												
SHRUBS	Quantity	Botanical/Common	Cont	DBH	Size	Spacing	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
ZAP	23	Zamia pumila / Coontie	3 Gal.		12"-18" OA Ht.	18" O.C.		N	PSH-FS	Medium	Medium	C
Total	23											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, FS - Full Sun, FSH - Full Shade, N - Native, PSH - Part Shade												
GROUNDCOVERS	Quantity	Botanical/Common	Cont	DBH	Size	Spacing	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
NEE	52	Nephrolepis exaltata / Boston Fern	3 Gal.		12"-18" OA Ht.	18" O.C.		N	PSH-FS	None	Medium	
PTS	25	Phymatosorus scolopendria / Wart Fern	3 Gal.		12"-18" OA Ht.	30" O.C.						
Total	77											

THE WHARF - PLANTING SCHEDULE - UDRB - 7-6TH LEVEL												
PALMS	Quantity	Botanical/Common	Cont	DBH	Size	Spr	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
THR	3	Thrinax radiata / Florida Thatch palm	B&B		10'-12' OA Ht.			N	PSH-FS	High	High	B
Total	3											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, FS - Full Sun, FSH - Full Shade, N - Native, PSH - Part Shade												
SHRUBS	Quantity	Botanical/Common	Cont	DBH	Size	Spacing	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
SPP	24	Spathoglottis plicata / Ground Orchid	3 Gal.		12"-18" OA Ht.	18" O.C.						
TRM	43	Trimezia martinicensis / Yellow Walking Iris	3 Gal.		12"-18" OA Ht.	18" O.C.						
ZAP	86	Zamia pumila / Coontie	3 Gal.		12"-18" OA Ht.	18" O.C.		N	PSH-FS	Medium	Medium	C
Total	153											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, FS - Full Sun, FSH - Full Shade, N - Native, PSH - Part Shade												

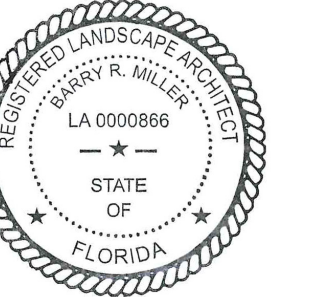
THE WHARF - PLANTING SCHEDULE - UDRB - ROOF LEVEL												
TREES	Quantity	Botanical/Common	Cont	DBH	Height	Spread	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
COU	2	Coccoloba uvifera / Seagrape	B&B	3"	12'-14' Ht.	8'-9' Spr.	Tree Form, Multi-Branched	N	PSH-FS	High	High	B,BF
COE-S	4	Conocarpus erectus 'sericeus' / Silver Buttonwood	B&B	3"	10'-12' Ht.	6'-7' Spr.	Multi-Trunk Tree Form	N	FS	High	High	BF,C
MYF	7	Myrcianthes fragans / Simpson Stopper	45 Gal.	1.5"	10' Ht.	4'-5' Spr.	Single Leader	N	PSH-FS	Medium	High	B,BE,BF,C
NOE	1	Noronhia emarginata / Madagascar Olive	45 Gal.	2"	10'-12' Ht.	6'-8' Spr.	Single Leader		FS	High	High	
Total	14											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, FS - Full Sun, FSH - Full Shade, N - Native, PSH - Part Shade												
PALMS	Quantity	Botanical/Common	Cont	DBH	Size	Spr	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
CON	12	Cocos nucifera 'Malayan' / Malayan Coconut Palm	B&B		10'-12' Ht.				FS	High	Medium	
SAP	32	Sabal palmetto / Sabal Palm	B&B		10'-20' G.W.		booted, hurricane cut	N	PSH-FS	High	High	B,BF
Total	44											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, FS - Full Sun, FSH - Full Shade, N - Native, PSH - Part Shade												
SHRUBS	Quantity	Botanical/Common	Cont	DBH	Size	Spacing	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
MUC	37	Muhlenbergia capillaris / Pink Muhly Grass	3 Gal.		18"-24" OA Ht.	30" O.C.		N	PSH-FS	Medium	Medium	
SPP	46	Spathoglottis plicata / Ground Orchid	3 Gal.		12"-18" OA Ht.	18" O.C.						
TRM	458	Trimezia martinicensis / Yellow Walking Iris	3 Gal.		12"-18" OA Ht.	18" O.C.						
ZAP	155	Zamia pumila / Coontie	3 Gal.		12"-18" OA Ht.	18" O.C.		N	PSH-FS	Medium	Medium	C
Total	696											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, FS - Full Sun, FSH - Full Shade, N - Native, PSH - Part Shade												
GROUNDCOVERS	Quantity	Botanical/Common	Cont	DBH	Size	Spacing	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
ARG	132	Arachis glabrata / Perennial Peanut	1 Gal.		9"-12" OA Ht.	18" O.C.			FS	High	High	
Total	132											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, FS - Full Sun, FSH - Full Shade, N - Native, PSH - Part Shade												
SOD	Quantity	Botanical/Common	Cont	DBH	Size	Spacing	Remarks	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
ZOY	582	Zoysia 'Cashmere' Sod					Palettes			Low		



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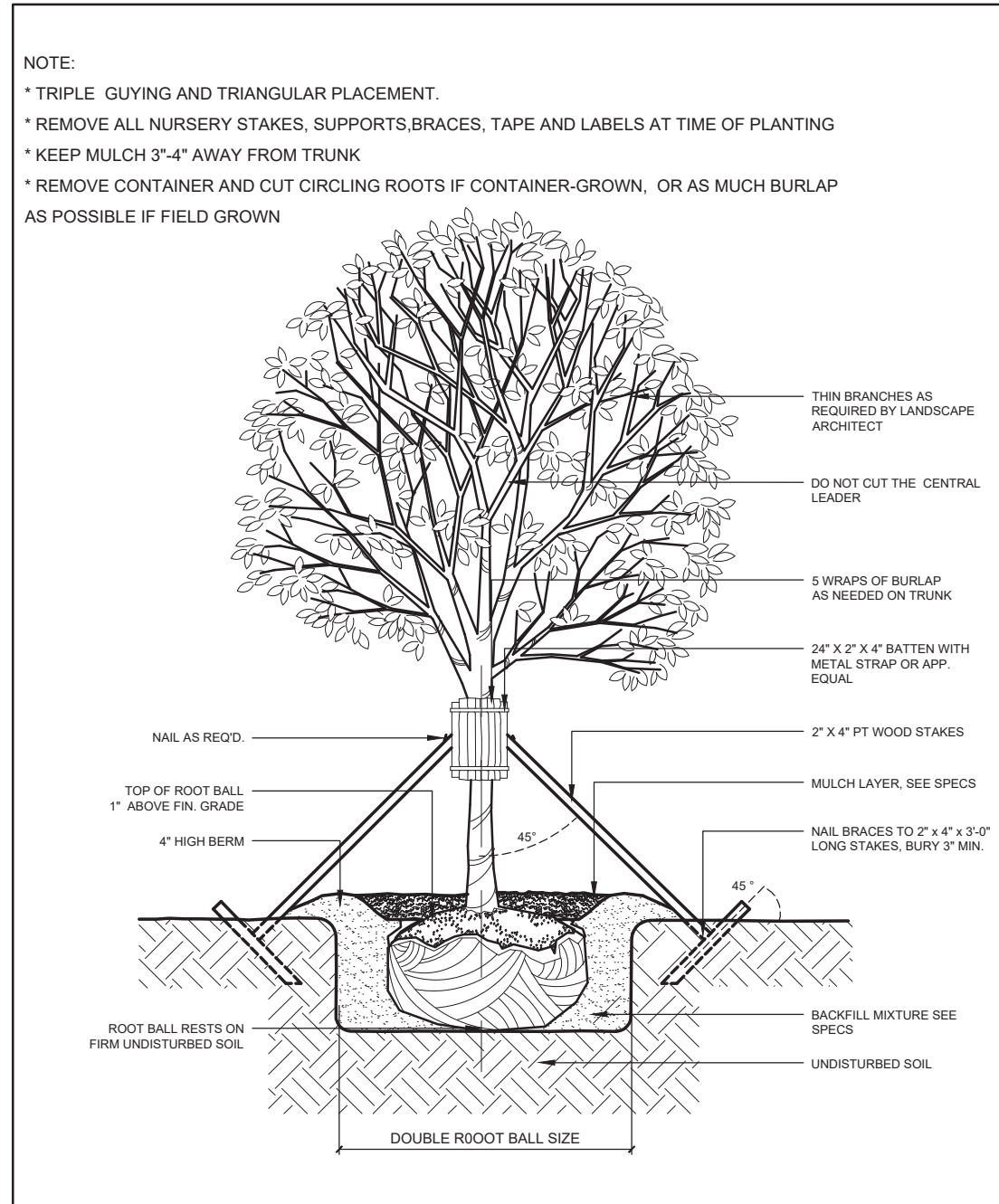
RIVERSIDE WHARF
Miami, Florida

PLANTING SCHEDULE
Scale: N.T.S.

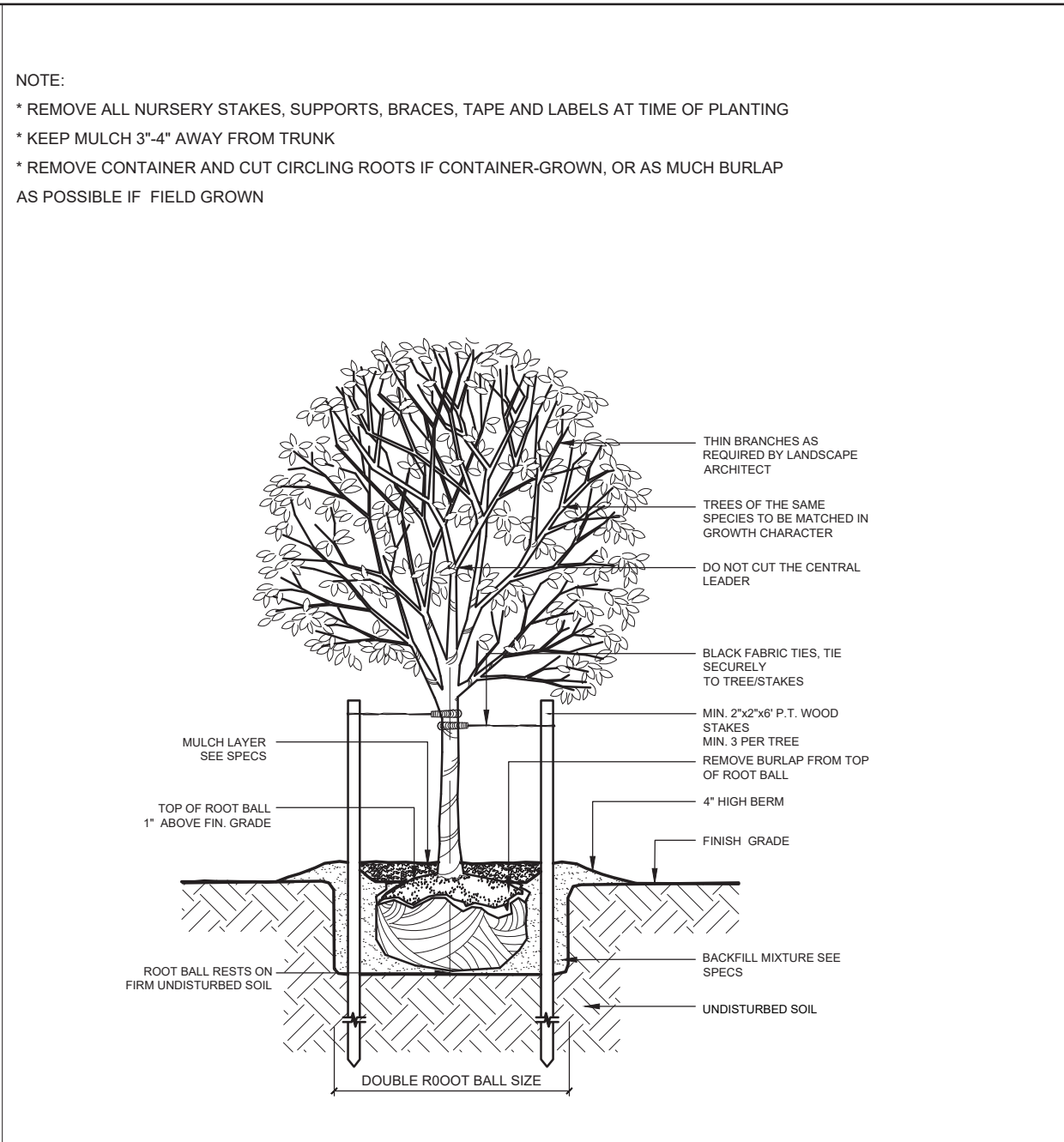


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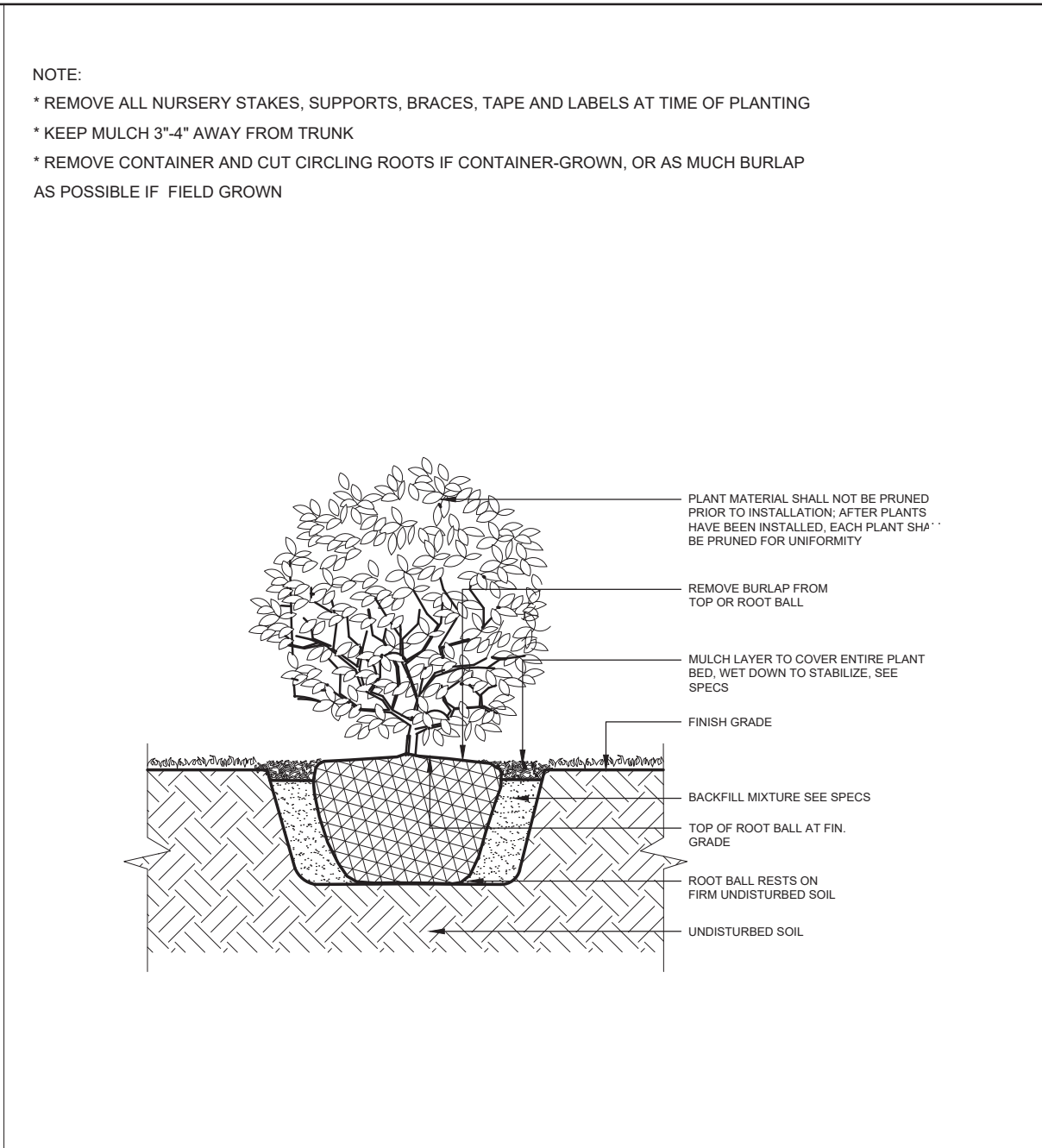
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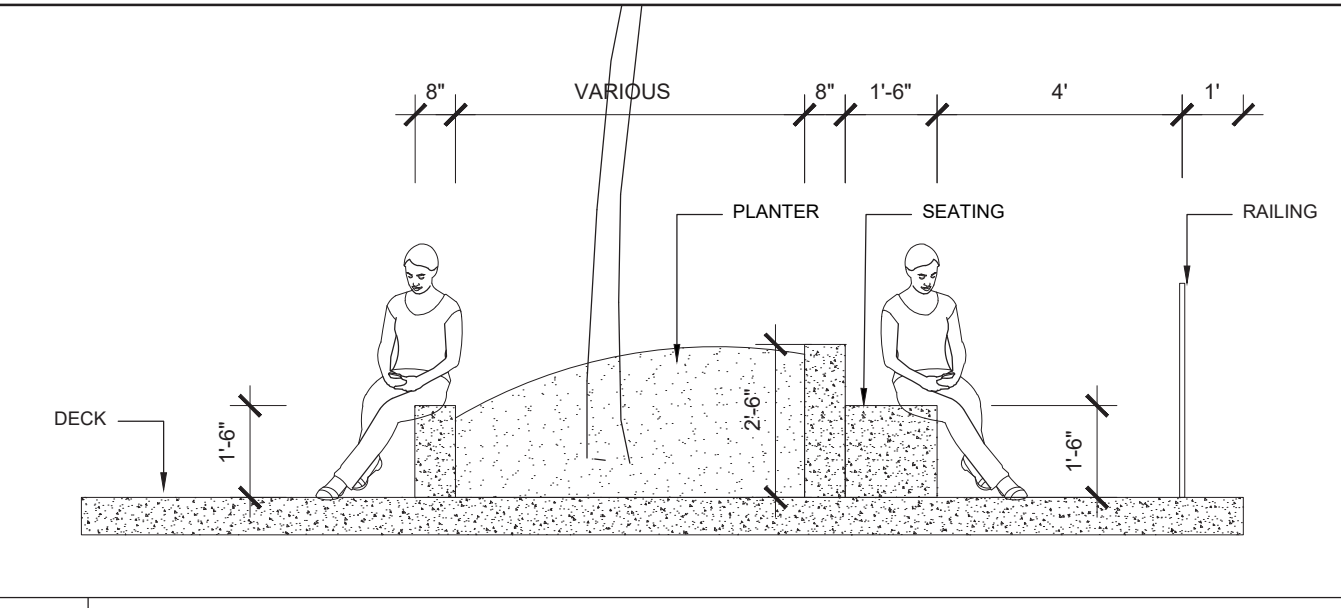
1 TYPICAL DETAIL: LARGE TREE PLANTING & STAKING
SCALE: NTS



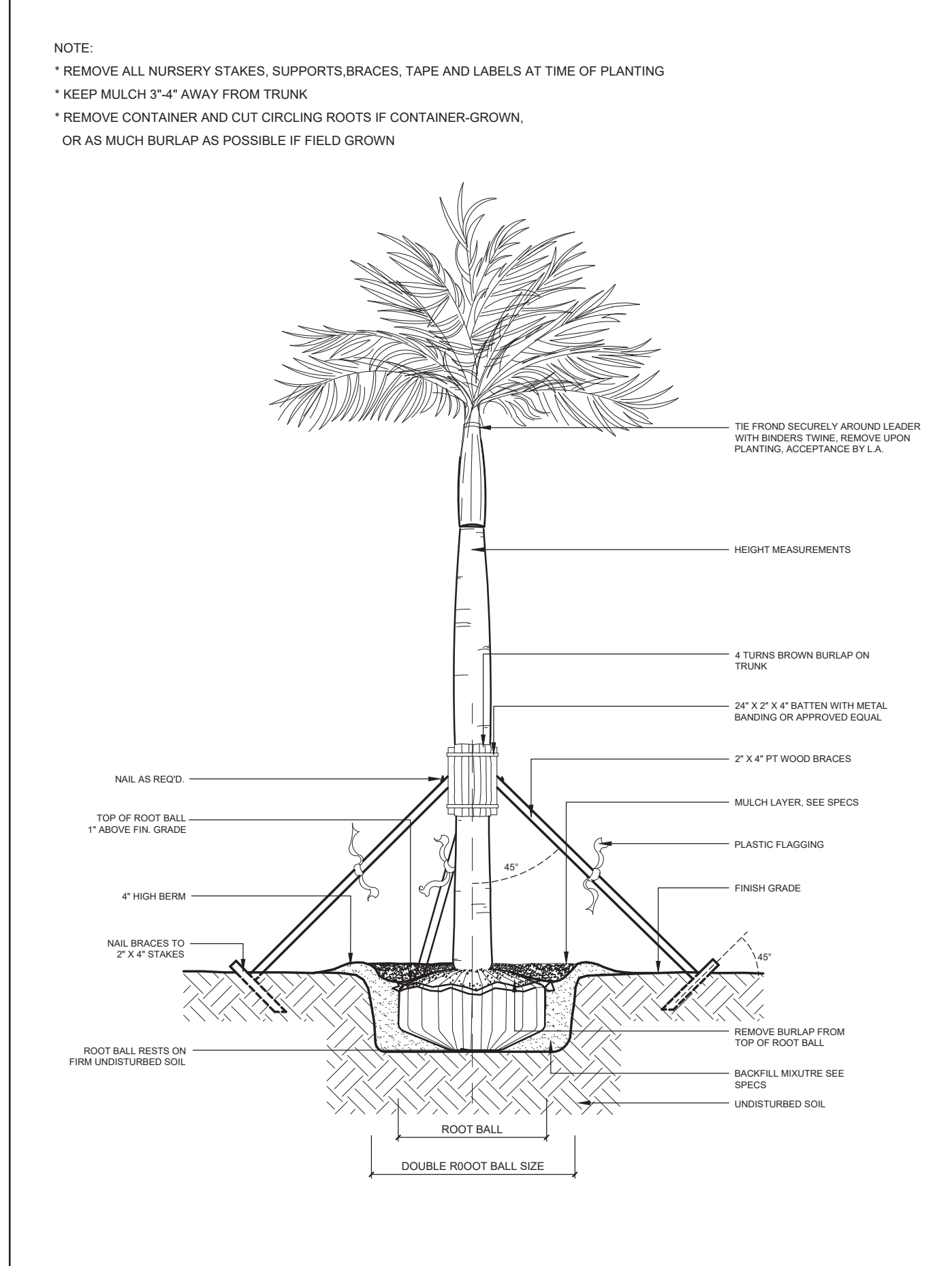
2 TYPICAL DETAIL: SMALL TREE PLANTING & STAKING
SCALE: NTS



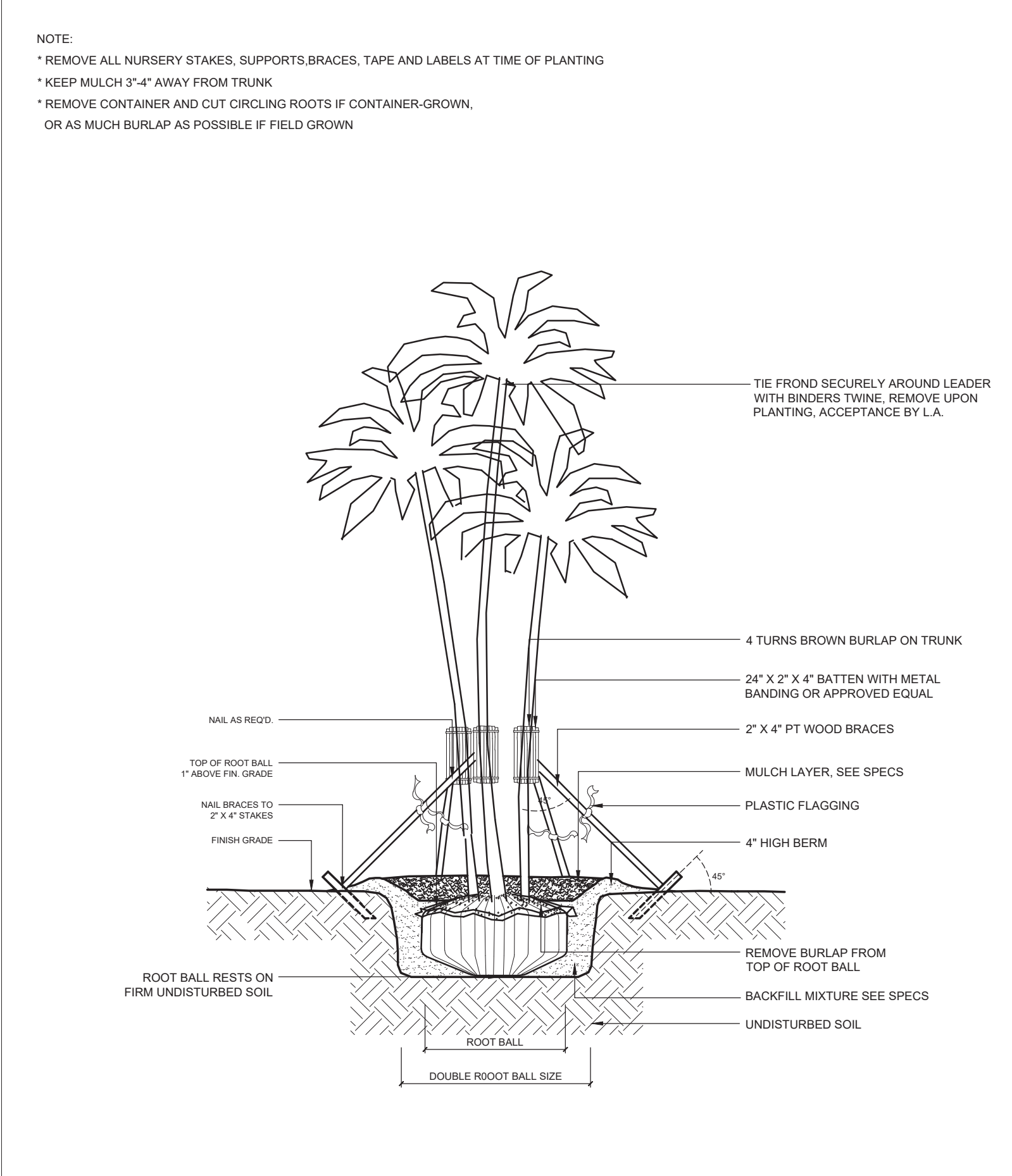
3 TYPICAL DETAIL: SHRUB PLANTING
SCALE: NTS



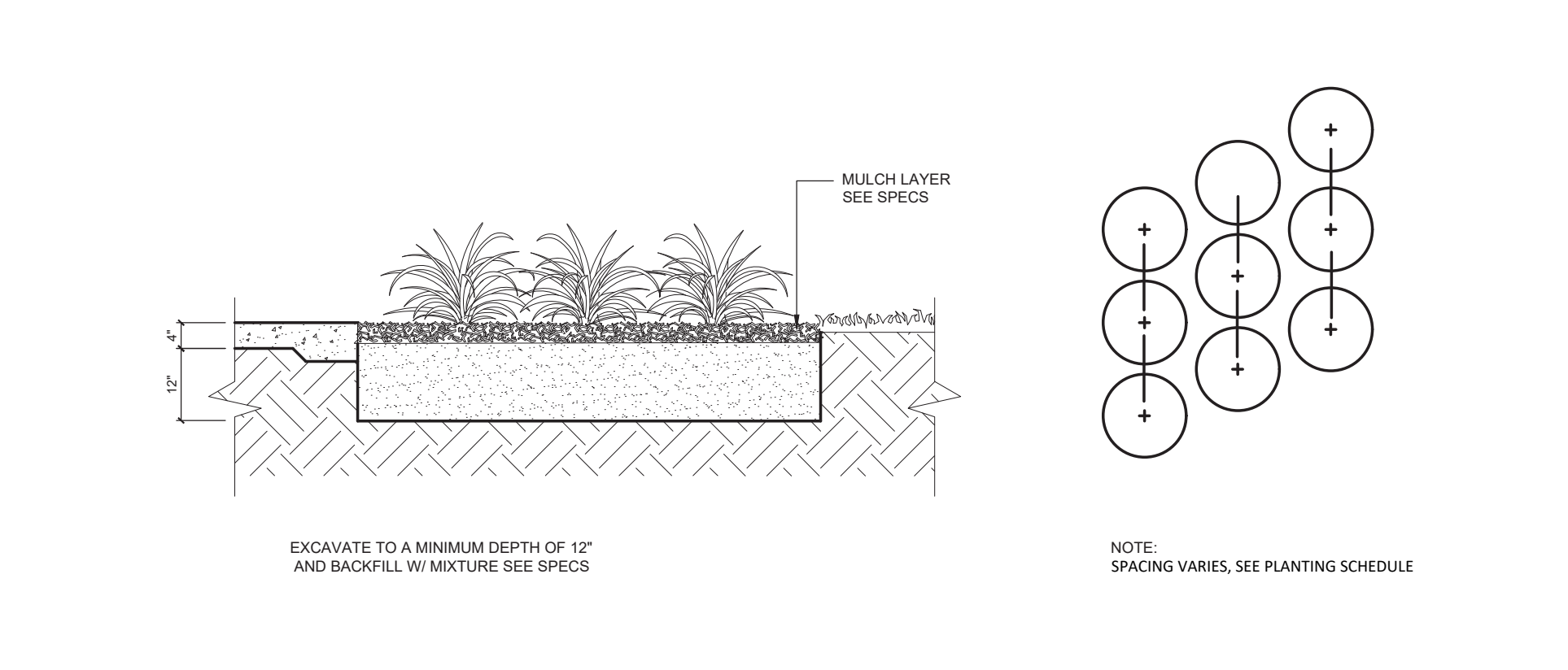
9 RIVERWALK CURVED PLANTER DETAIL
SCALE: NTS



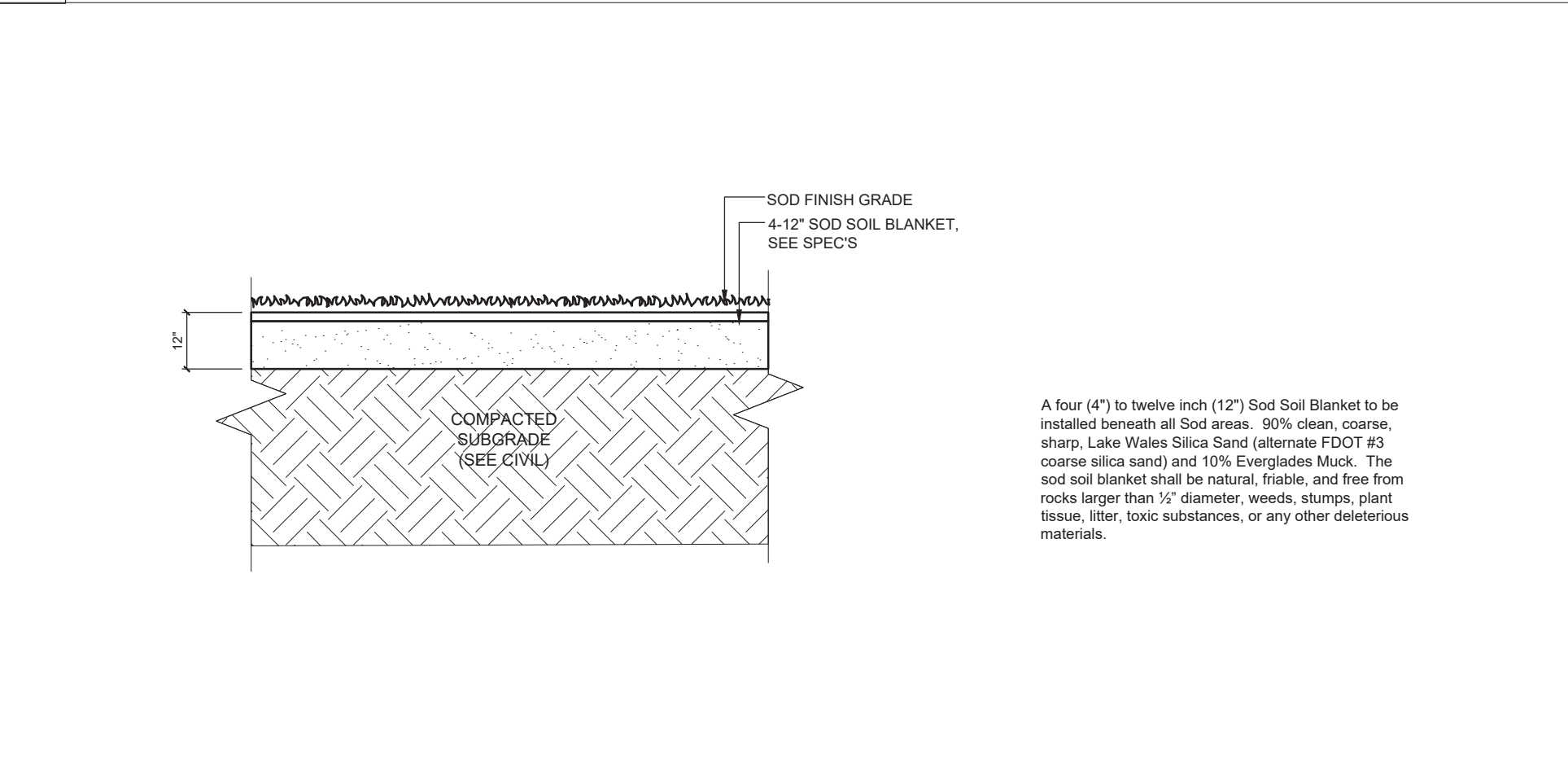
6 TYPICAL DETAIL: LARGE PALM PLANTING & STAKING
SCALE: NTS



7 TYPICAL DETAIL: MULTI-TRUNK PALM PLANTING & STAKING
SCALE: NTS



4 TYPICAL DETAIL: GROUNDCOVER AND SPACING
SCALE: NTS



5 TYPICAL DETAIL: SOD
SCALE: NTS

CUBE3

savinmiller
DESIGN STUDIO

12345 NE 6th Ave # A,
North Miami, FL 33161

License No. LA0000866
Barry R. Miller, RLA

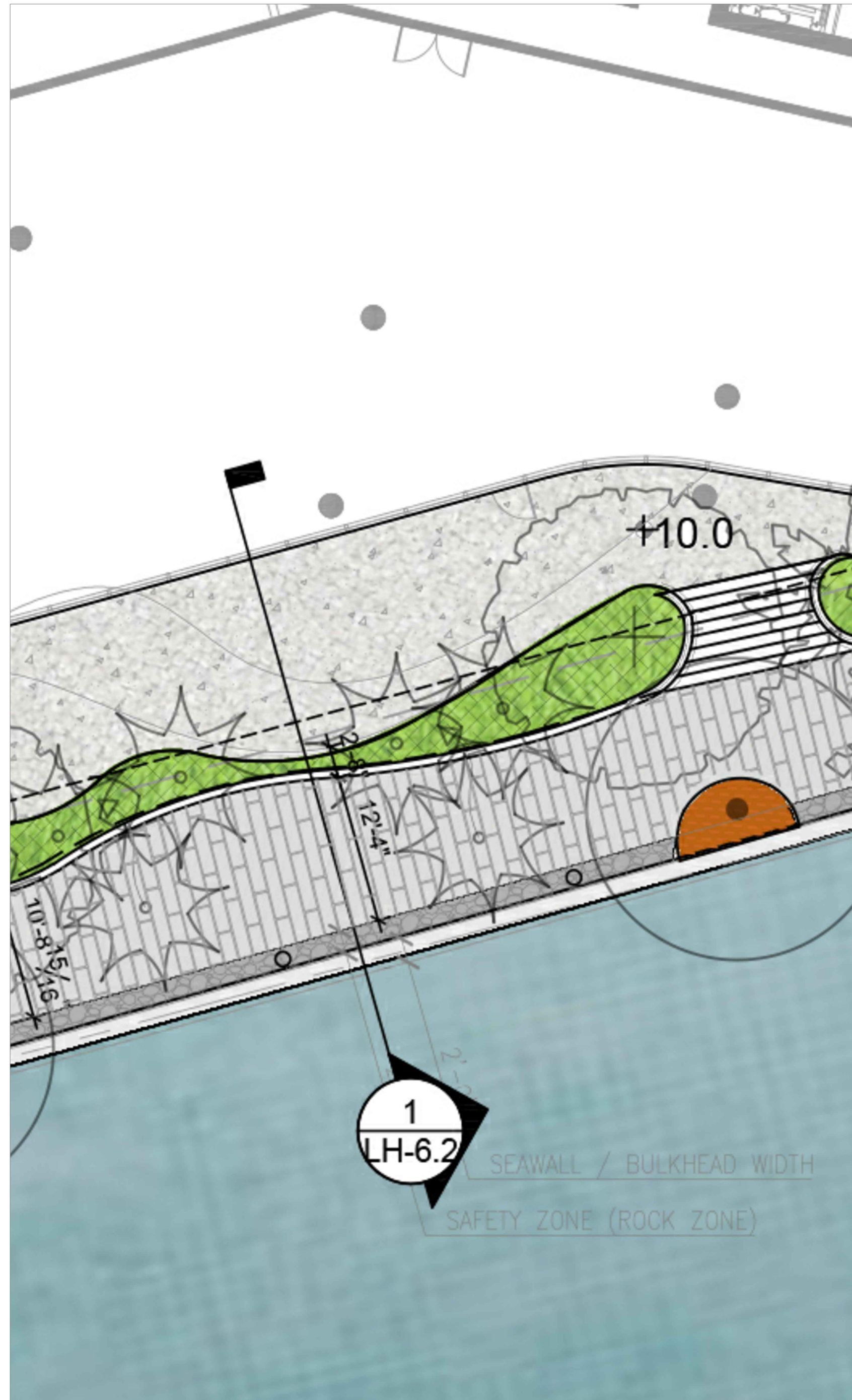
RIVERSIDE WHARF
Miami, Florida

TYPICAL PLANTING DETAILS
Scale: N.T.S.

MRC Submission
08 December 2021

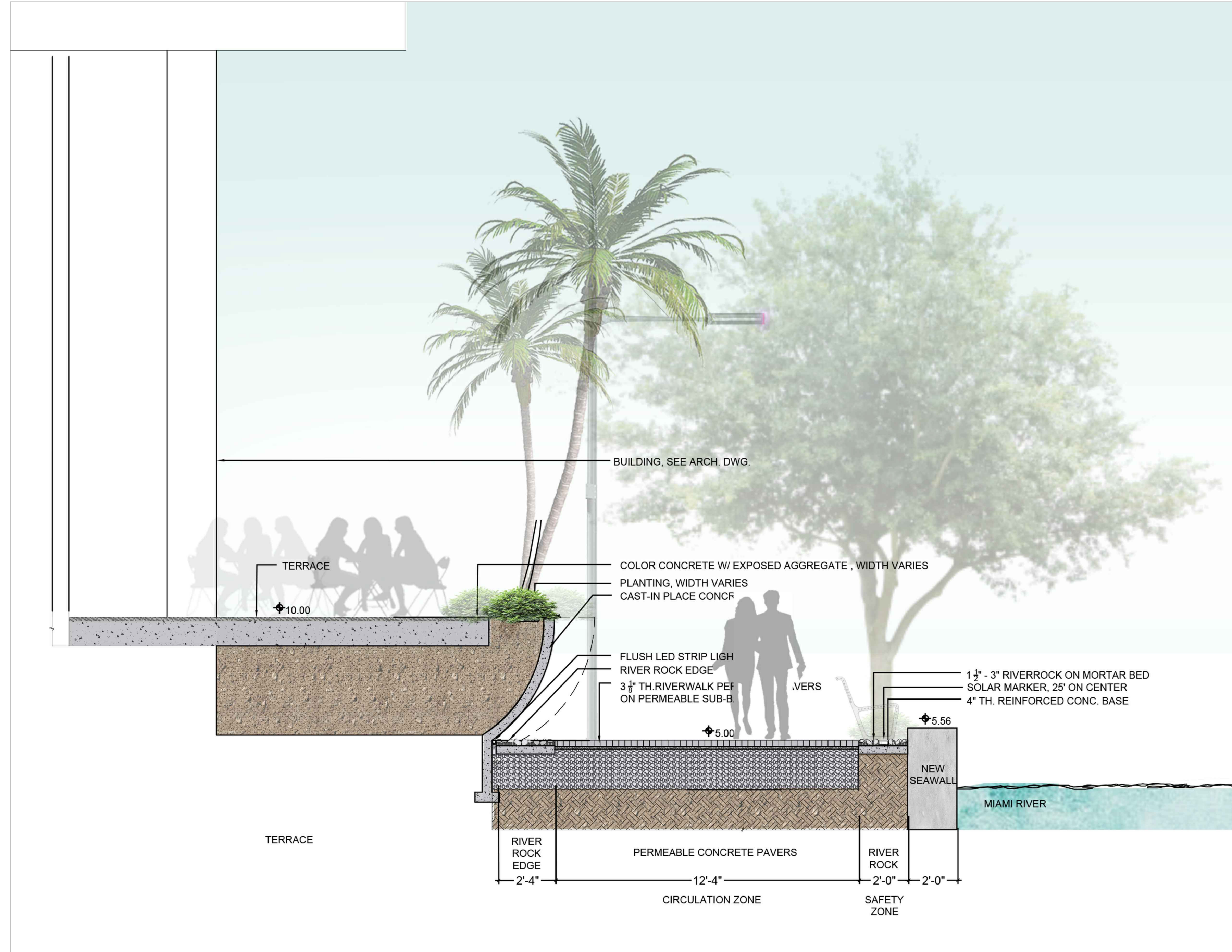
L-6.1

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RIVERWALK ENLARGEMENT PLAN

SCALE: 1/8" = 1'-0"



1 RIVERWALK SECTION - CURVED PLANTER WALL W/ OUTDOOR DINING

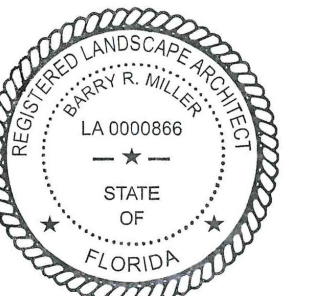
SCALE: 3/8" = 1'-0"

CUBE3

savinmiller
DESIGN STUDIO

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North Miami, FL 33161

License No. LA0000866
Barry R. Miller, RLA



**RIVERSIDE
WHARF**
Miami, Florida

RIVERWALK SECTIONS
Scale: N.T.S.



MRC Submission
08 December 2021

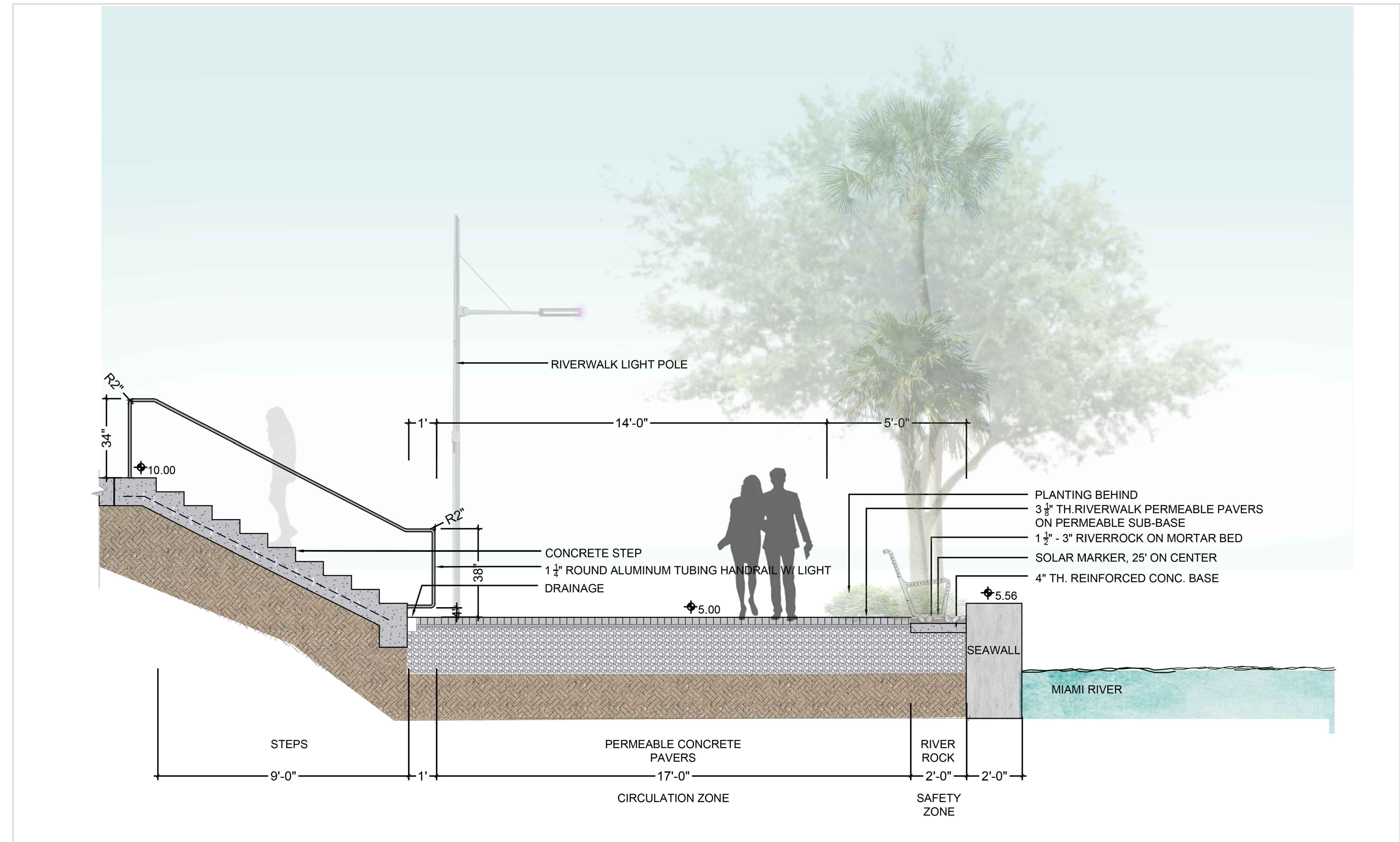
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RIVERWALK ENLARGEMENT PLAN

SCALE: 1/8" = 1'-0"



2 RIVERWALK SECTION - STAIRS WITH DETECTIVE ROCKS

SCALE: 3/8" = 1'-0"

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License No. LA0000866
Barry R. Miller, RLA



RIVERSIDE WHARF
Miami, Florida

RIVERWALK SECTIONS
Scale: N.T.S.



MRC Submission
08 December 2021

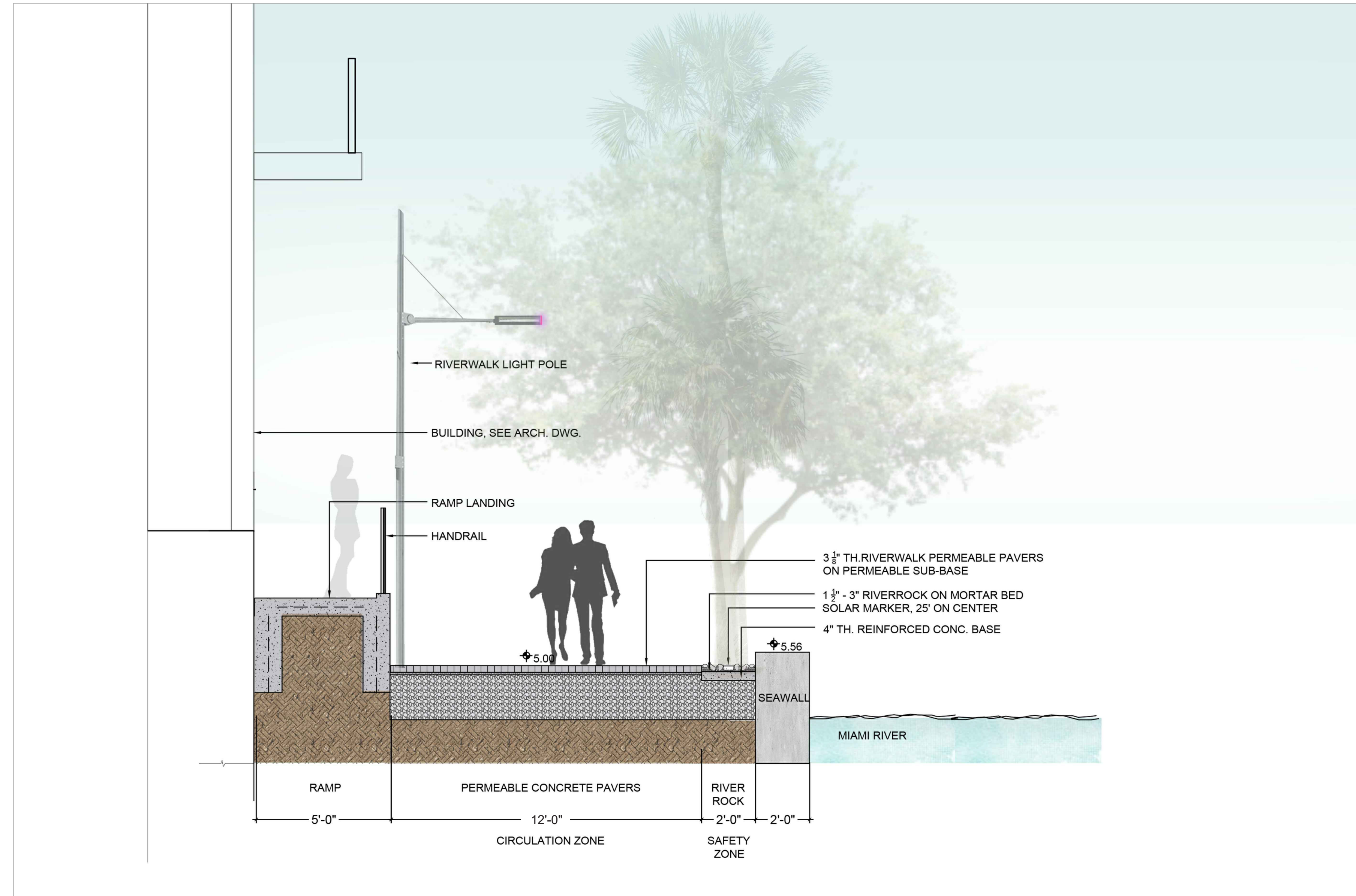
L-6.3

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RIVERWALK ENLARGEMENT PLAN

SCALE: 1/8" = 1'-0"



3 RIVERWALK SECTION - THROUGH ADA RAMP

SCALE: 3/8" = 1'-0"

CUBE3

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DESIGN STUDIO

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Barry R. Miller, RLA



**RIVERSIDE
WHARF**
Miami, Florida

RIVERWALK SECTIONS
Scale: N.T.S.



MRC Submission
08 December 2021

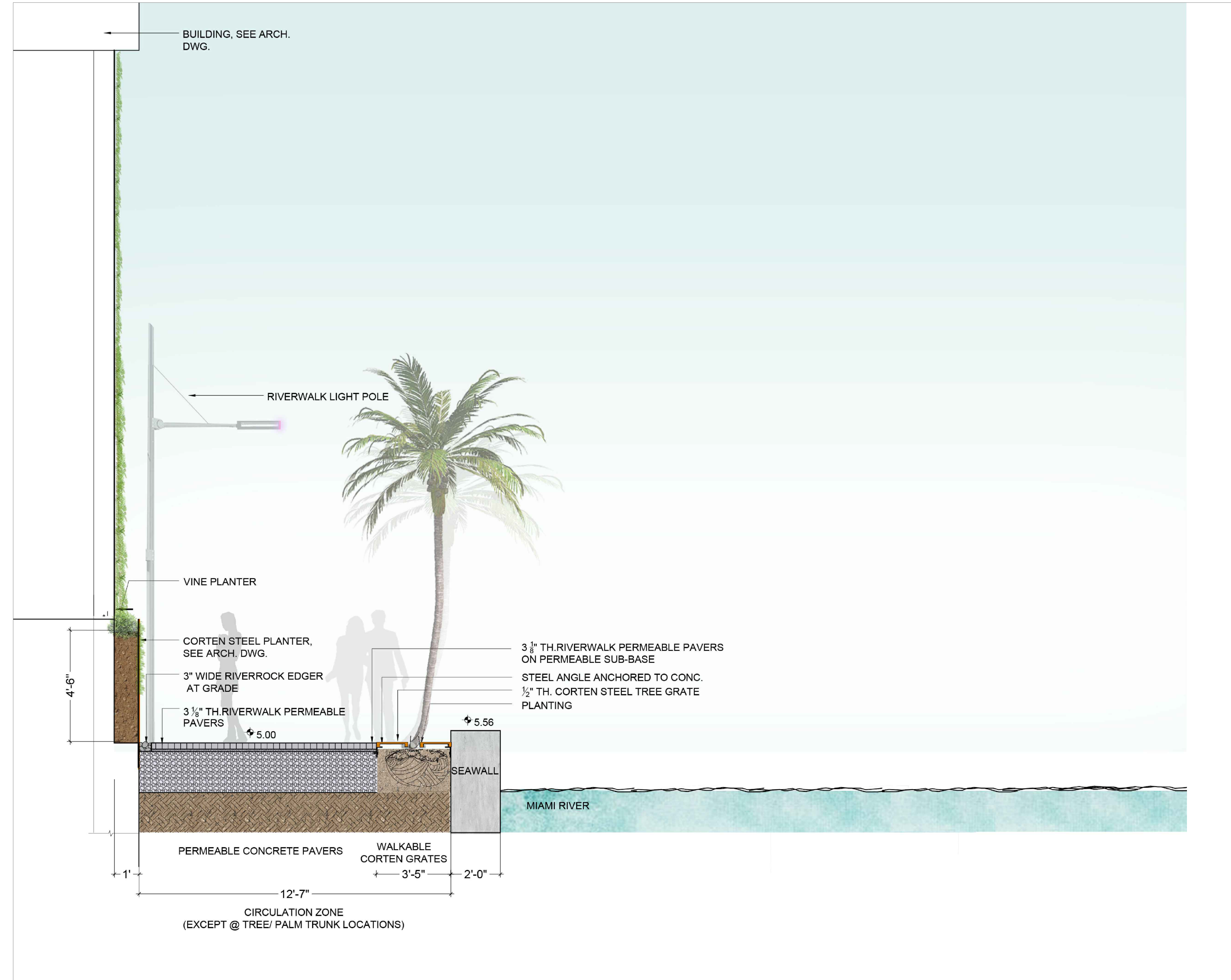
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RIVERWALK ENLARGEMENT PLAN

SCALE: 1/8" = 1'-0"



4 RIVERWALK SECTION - THROUGH TREE GRATES

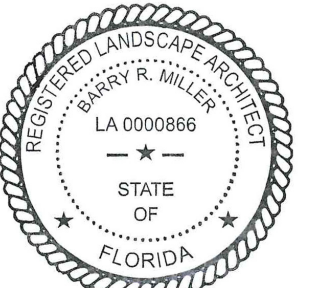
SCALE: 3/8" = 1'-0"

CUBE3

savinmiller
DESIGN STUDIO

12345 NE 6th Ave # A,
North Miami, FL 33161

License No. LA0000866
Barry R. Miller, RLA



**RIVERSIDE
WHARF**
Miami, Florida

RIVERWALK SECTIONS
Scale: N.T.S.



MRC Submission
08 December 2021

L-6.5

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**Miami River Commission's
Urban Infill and Greenways Subcommittee
December 8, 2021**

The Miami River Commission (MRC) public meeting convened December 8, 2021, 3 PM, Lummus Park Community Center, 360 NW 3 ST.

I) Presentation Regarding 99 SW 7 ST

Mr. Harvey Hernandez requested a deferral in advance of the meeting.

II) Presentation Regarding 114-236 NW North River Drive and 300 SW 2 ST

Iris Escarra, Greenberg Traurig, John McDowell, Cube 3, Barry Miller, Savino Miller Design, Alex Mantecon and Guillermo Vadell, MV Real Estate presented plans, Letter of Intent and Covenant stating they will comply with public Riverwalk code requirements (3.11 and Appendix B) and the Comp Plan required working river disclosure. The presenters stated the project will activate the public Riverwalk.

The project features a hotel, restaurants, Garcia's Seafood Fish Market, managed dockage with a dockmaster, etc. Please see provided Letter of Intent and Plans for more details.

This project will be presented at a Miami River Commission public board meeting on Jan 3, noon, Downtown Library Auditorium, 101 W Flagler.

The applicants public Riverwalk will connect with adjacent property owner Manny Prieguez via a lease and the applicant will construct a new seawall and connecting public Riverwalk on Mr Prieguez' site, in addition to enhancements of the public Riverwalk under I-95 such as improved lighting. The public Riverwalk will have 4 entry points for bicycles and pedestrians. In addition, there are 2 loading zones and a valet drop off area.

MRC Urban Infill and Greenways Subcommittee Chairman Jim Murley suggested the Miami River Commission recommend approval of the proposed project.

III) New Business

The meeting adjourned.

PUBLIC DOCUMENT

Miami River Commission's Urban Infill and Greenways Subcommittee

Public Meeting

December 8, 2021 - 3PM

Lummus Park Community Center - 360 NW 3 ST

Name Organization Telephone Email

MEGAN KELLY for Mayor Suarez 786-556-5620

Jean Paul resident jpaul703@bellsouth.net

Louise Isalgue self louiseisalgue@gmail.com

JUAN SANTANDREU SG (305)942-2371 structure4k GREEN1@gmail.com

Alex Mantecón MV Real Estate 305-984-4861 alex@mvreh.com

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Jim Murtagh MDC-002 786-789-1537 James.Murtagh@miami.gov

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Brian Dombrowski GT 3/579 030 Dombrowski: @GTUAW.com

Juan CARDELL CUBF3 305-968-8527 JCARDILL@CUBF3.COM

Miami River Commission's Urban Infill and Greenways Subcommittee

Public Meeting

December 8, 2021 - 3PM

Lummus Park Community Center - 360 NW 3 ST

Name	Organization	Telephone	Email
Jim McDonnell	CUBE 3	305-968-8527	jmcdonnell@cub3.com
Eleazar Rausseo	CUBE 3	"	erausseo@cub3.com
Edna Blumberg	CUBE 3	—	eblumberg@cub3.com
Benny Miller	Savino Miller Design	305-895-9082	benny@savinomiller.com
Xiaoyuan Du	Savino Miller Design	305-895-9082	xiaoyuan@savinomiller.com
Mark Bailey	Miami River Marine Group	305-772-6285	markbailey@miamirivermarinegroup.org
Brett Bibeau	MRC	305-644-0544	brettbibeau@miamirivercommission.org

November 30, 2021
Updated December 7, 2021

Via Hand Delivery

Brett Bibeau
Managing Director
Miami River Commission
1407 NW 7th Street # 1
Miami, Florida 33125

**Re: Riverside Wharf / 114/200/236/298 SW North River Drive and 300 SW 2 Street
(collectively, the “Property”)**

Dear Mr. Bibeau:

Our firm represents MV Real Estate Holdings, LLC (the “**Applicant**”), in connection with the redevelopment of the above-referenced Property, as depicted in the enclosed site plan prepared by Cube3, LLC (the “**Site Plan**” or “**Project**”). Please note that the Applicant is the owner of the parcels located at 114/200 SW North River Drive and 300 SW 2nd Street and is the lessee of the parcels located at 236/298 SW North River Drive. On behalf of the Applicant, please accept this correspondence and the enclosed materials as the Applicant’s request for a recommendation from the Miami River Commission in support of the proposed Project.

I. Property Information

The Property is a narrow, irregularly shaped lot located on the East bank of the Miami River fronting SW North River Drive, between the SW 1st Street bridge and the I-95 overpass. The Property is located in the Lower River section, within the downtown area of the City which continue to experience rapid population growth and business expansion. The Property is surrounded by multi-family residential, office, marine industrial and commercial developments. Under Miami 21, the Property is zoned D3. The City’s Future Land Use Map designates the Property as Industrial.

On December 10, 2020, the City Commission adopted Ordinance No. 13938. Ordinance No. 13938 amended the Industrial Land Use designation to include the following language:

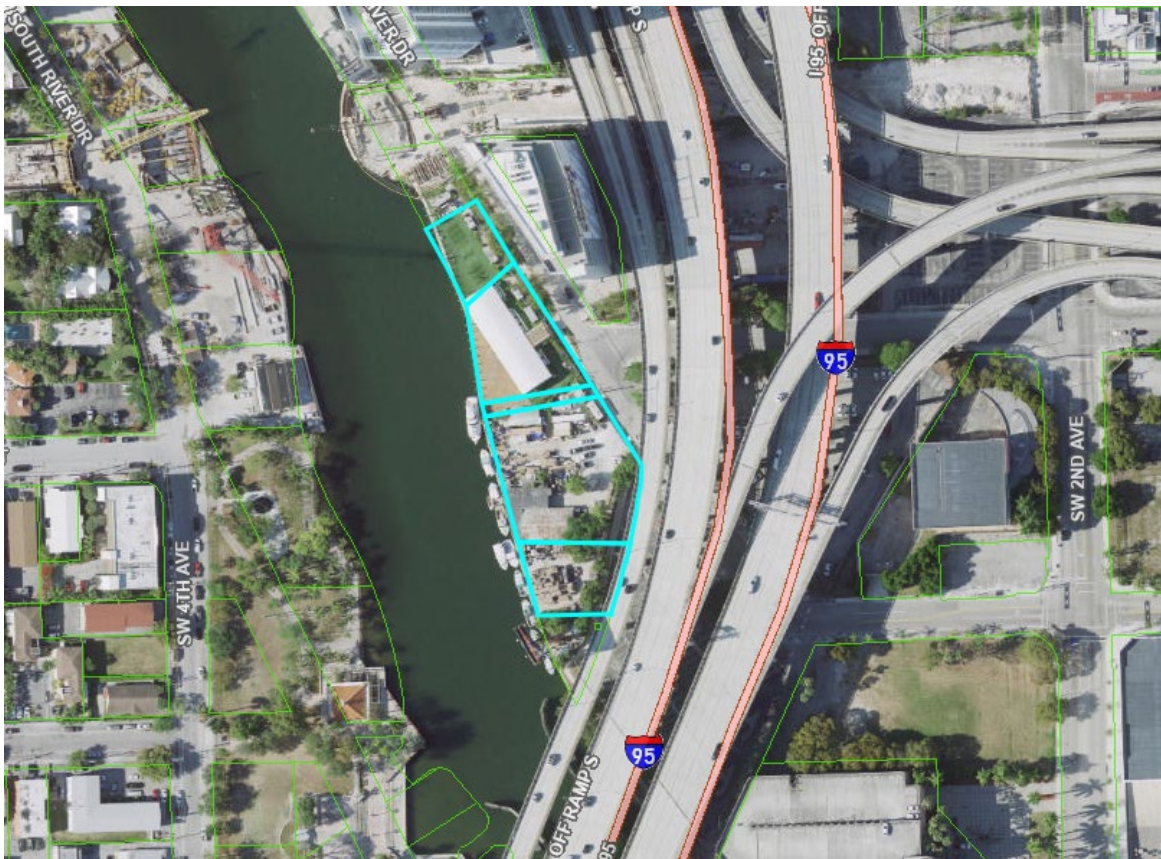
- Lodging uses are permitted in this designation subject to certain limiting provisions in the applicable land development regulations. Areas designated “Industrial” allow a maximum density of “Medium Density Multifamily Residential” subject to limiting provisions of the applicable land development regulations. Development

shall be subject to the Port of Miami River Sub-Element, as applicable. All uses must comply with any previous settlement agreements the City has entered into relating to recreational and commercial working waterfronts and the Miami River and not impair recreational and commercial working waterfronts as defined in Section 342.07, Florida Statutes

Likewise, Ordinance 13962 was adopted by the City Commission which amended Miami 21 to permit Lodging Uses in the D3 Transect Zone, subject to the Exception process with City Commission approval. Lodging Uses in the D3 Transect Zone are limited to the north side of the Lower River as established in the Miami River Corridor Infill Plan and Miami River Greenway Action Plan, defined as the area from Biscayne Bay to the Fifth Street Bridge.

The north portion of the Property is currently improved with temporary structures operating under a Temporary Use Permit. The south portion of the Property is the former Garcia's fishery area used for offloading caught fish. Garcia's will return to the Project as part of the fish market.

According to the enclosed survey prepared by Manuel G. Vera & Associates, Inc. (the "Survey"), the Property consists of a total lot area of 58,753 square feet or 1.35 acres. The Property is located within a Transit Oriented Development (TOD) as it is within half mile of the Government Center Metrorail/Metromover Station.



II. The Project

The Applicant is proposing to improve the Property with a mixed-use Project consisting of two (2) interconnected buildings. The Project contains 174 lodging units and 87,539 square feet of commercial space, along with related amenities and parking. The commercial space includes restaurants and a fish market featuring locally caught fish.

The Project provides a contemporary design that draws inspiration from the history of the Miami River and its industrial character. The Project's design reflects the openness and connectivity of the Miami River allowing for natural light and breezes. The proposed architectural palette includes organic materials that are in harmony with the Property's setting inspired by lobster traps.

The Project's design also responds primarily to human scale and pedestrian interests. The Project uses its waterfront location to provide enhanced public access to the Miami River. The Project will provide an inviting public riverwalk with landscaping and other improvements in accordance with the City's waterfront design standards. The proposed riverwalk creates a unique space which promotes pedestrian interaction. The Project has been designed to make views of the Miami River the focal point. The Project will be a signature development that will introduce new uses to support the multiple multifamily residential uses in the vicinity of the Property as well as provide activation along the River. Our development team has carefully designed the buildings to be interconnected at various levels and proposed uses which complement each other to create a true riverfront experience.

The proposed uses and redevelopment of the Property are guided by the Lower River design development regulations of both the Miami River Greenway Action Plan and the Miami River Greenway Regulatory Design Standards. The Project will be a major improvement to the Property, the Miami River, and the City at large. The Project will activate this segment of the waterfront and enhance the Miami River's status as a regional economic hub. The proposed development with a mix of commercial and lodging uses is precisely the type of development the Miami Comprehensive Neighborhood Plan's Port of Miami River Sub-Element emphasizes when it lists the economic development of the Miami River through job creation and employment opportunities as one of its goals. The proposed uses will transform this underutilized Property into a vibrant waterfront mixed-use complex that will create numerous employment opportunities and bring unparalleled attention to the area.

The Project offers a water dependent facility, open to the public, offering public access by vessels to the waters of the state. The onsite Food Service Establishments maintain a water-dependent use by emphasizing local seafood and space for commercial fishing vessels to unload and sell their seafood at the fish market. The Project serves to meet the intent of the Port of Miami River Element of the City of Miami Comprehensive Plan as the Project emphasizes the economic development of the Miami River through job creation and employment opportunities which currently are not provided for the adjacent residential community and the access provided will serve to increase the economic viability of the existing waterfront industrial site. In addition, the Miami River Greenway Action Plan states as Goal Number 4, that the Miami River serves as a

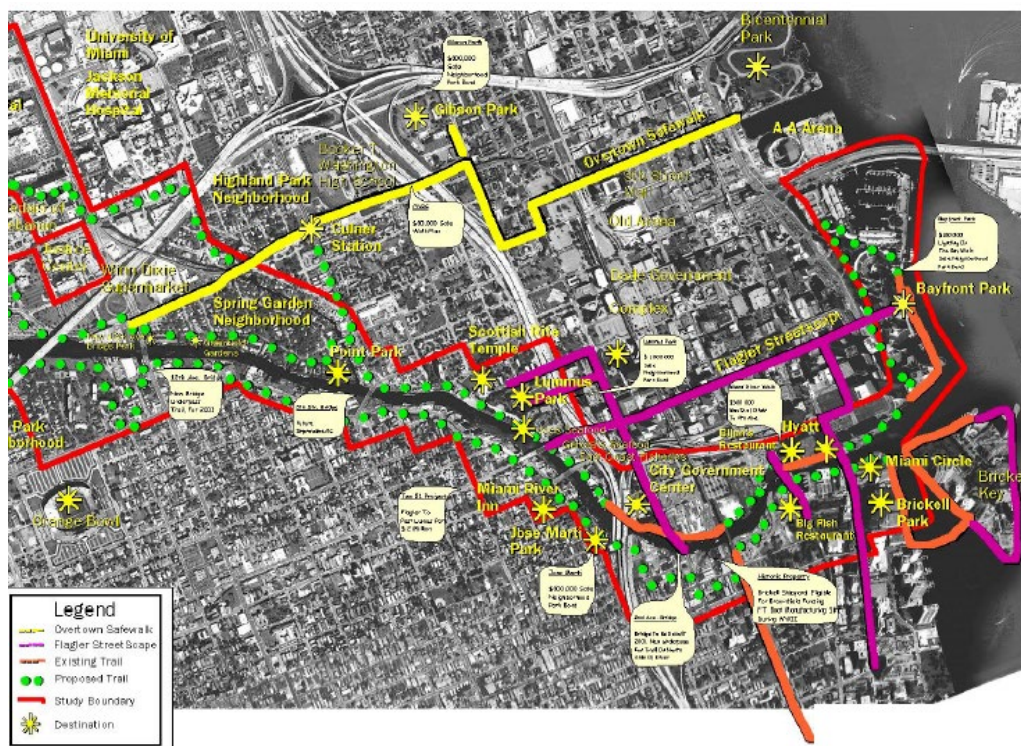
“destination landscape” which includes “diversify[ing] the land use and destinations found along the River to include more restaurants, retail shops and other River-related business uses.”

III. Miami River Greenway Action Plan

The proposed improvements are in compliance with the stated recommendations and goals of the Miami River Greenway Action Plan (the “MRGAP”). Pursuant to the MGRAP, the Property is located in the Lower River section of the Miami River. The Project includes activation of the riverfront.

The MGRAP recommends that “On the north riverbank, it would be ideal to link the City office building to Lummus Park with a Riverwalk component.” The Property does not provide access to the Miami River currently aside from the portion activated under the temporary use permit. The portion of the Property formerly occupied by Garcia’s provides no water access to the public. The planned improvements at the Property include an inviting and accessible riverwalk, which will provide various public access points to the Miami River, fulfilling the goals of the MRGAP. The proposed riverwalk primary connection to SW North River Drive is a grand plaza with unparalleled views of the Miami River. Miami 21 requires a Waterfront Setback of 25% of the Lot Depth (which varies at the Property), and the Project provides a minimum clear circulation path of 12’ in width for the Riverwalk.

As depicted in the image below from the MRGAP’s Illustrative Concept Plan, the proposed public access waterfront walkway and riverwalk at the Property comply with the MGRAP’s goal of creating a fluid and accessible riverwalk as envisioned by community stakeholders.



The MRGAP seeks to create a viable Miami River. The Project meets the stated goals and objectives of the MRGAP. The following describes just a few of the MRGAP goals complied by the proposed improvements at the Property:

- **Goal 1: Improves Access to the River**
 - The proposed public access waterfront walkway and riverwalk at the Property will remove the existing barriers at the site which limit public access to, and enjoyment of, the Miami River. The Project has been designed to provide unparalleled views of, and access to, the Miami River. The Project will also add a publicly accessible Riverwalk where there is no Riverwalk today.
 - The proposed public access waterfront walkway and riverwalk will provide landscaping and seating areas creating an inviting access point for the public to engage with the Miami River.
 - The proposed redevelopment of the Property with a waterfront Food Service Establishment will further enhance the public's access and enjoyment of the Miami River as the riverfront will be activated
- **Goal 2: Sustain the "Working River" Industries of the Miami River**
 - The Project will generate significant employment opportunities along this portion of the Miami River by introducing new hotel and commercial uses, as well as a fish market for local fishermen.
- **Goal 4: Serve as a Destination Landscape for Metro Miami**
 - The proposed waterfront walkway and riverwalk provide various access points that will attract visitors and residents to the Miami River. Additionally, the proposed hotel and commercial uses at the site will attract many visitors and professionals to the Miami River.
 - The proposed riverfront, outdoor dining at the Property creates an attractive destination for both residents and visitors to the City of Miami.
 - The Project will include a Riverwalk for the first time, opening to the public a section of the Miami River which has been inaccessible for many years.
 - The existing boat and watercraft tie-up facilities along the Miami River provide for a destination restaurant as the Property will be accessible by both land and sea.

- **Goal 5: Encourage a Compatible Land Use Vision for the River**

- The proposed commercial, hotel, and other accessory uses at the Project will further promote diversity of land uses along the Miami River and complement the existing neighboring uses.
- The proposed restaurant at the Property provides an appropriate use as this area has become a destination for dining and entertainment. The recent development of nearby restaurants, each with boat access has brought a resurgence to the area, which the proposed development of the Property will further.

This Project encourages the development and expansion of the Port of Miami River Working Waterfront consistent with the FLUM as well as the Coastal Management Element of the City of Miami Comprehensive Plan, as the Project does not require rezoning, a comprehensive plan change or a FLUM amendment.

This Project is also conducive to Chapter 342, Florida Statutes, which creates the recreational and commercial working waterfront and recognizes there is an important state interest in facilitating boating and other recreational access to the state’s navigable water. § 342.07, Fla. Stat. (2021). The Project achieves the goals of ensuring that people have access to and use of navigable water. Section 342.07(s) also defines “recreational and commercial working waterfront” as “a parcel or parcels of real property which provide access for water-dependent commercial activities, ... or provide access for the public to the navigable waters of the state.” § 342.07, Fla. Stat. (2021). The Project also satisfies “direct access to or a location on, over, or adjacent to a navigable body of water”; is “open to the public and offer public access by vessels to the waters of the state or that are support facilities for recreational, commercial, research, or governmental vessels.” Relevant here, the state legislature has identified such establishments to include public lodging establishments, docks, lifts, wet and dry marinas, boat ramps, boat hauling and repair facilities, commercial fishing facilities, boat construction facilities, and other support structures over the water.

The proposed Project will revitalize the Property and provide a unique economic development opportunity to the Miami River and the greater Miami area. In addition to the proposed improvements, the Applicant has completed seawall restoration on the north portion of the Property and is in the process of obtaining the required permits for the south portion of the Property, which will improve the resiliency of the Property and area as a whole. We look forward to continuing to work and cooperate with the Miami River Commission on this exciting project. Should you have any questions, please feel free to contact me. Thank you for your attention and favorable consideration of this matter.

Sincerely,

Iris Escarra

Iris V. Escarra

This instrument is prepared by:
Iris Escarra
Greenberg Traurig
333 SE 2 Avenue, Suite 4400
Miami, FL 33131

Reserved for Recording

DECLARATION OF RESTRICTIVE COVENANTS

KNOW ALL MEN BY THESE PRESENT that the undersigned MV Real Estate Holdings, LLC, a Florida limited liability company (“**Owner**”) hereby makes, declares and imposes on the land herein described, this Restrictive Covenant (the “**Covenant**”) running with title to the land contained herein, which shall be binding on Owner, all heirs, grantees, successors and assigns, personal representatives, mortgagees, lessees, and against all persons claiming by, through or under them.

WHEREAS, Owner is the fee simple title holder to certain properties located at 114/200 SW North River Drive and 300 SW 2 Street, all located in Miami, Florida, more particularly described in **Exhibit “A”** (collectively, the “**Property**”) attached hereto and incorporated herein; and

WHEREAS the Owner seeks an Exception, Warrant, and Waivers application to permit the redevelopment of the Property with Lodging, Commercial, and other related uses at the Property including a fish market (the “**Application**”); and

WHEREAS, the Property is also governed by the Port of Miami River Sub-Element and identified as Category A therein; and

WHEREAS, the Owner voluntarily proffers this Covenant acknowledging and accepting the presence of the existing Working Waterfront 24-hour operations, as permitted, and providing for certain other improvements to the portion of the Property abutting the Miami River; and

NOW, THEREFORE, in consideration of the premises, agreements and covenants set forth hereinafter, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged by Owner, Owner hereby agrees as follows:

1. **Recitals.** The foregoing recitals are true and correct and are incorporated herein as if repeated at length.

2. **Restrictions.** Owner covenants the following:

- a. The Property shall be developed pursuant to the Riverside Wharf Site Plan (the “**Site Plan**”), as prepared by Cube3, LLC and dated _____, 2021, a copy of which is attached as **Exhibit “C”**.
- b. The Owner shall limit development on the Property in accordance with the D3 Transect Zone regulations of Miami 21 Code including the density limitations therein.
- c. The Owner shall operate the Property in accordance with the Site Plan.
- d. The Owner shall not seek to reduce the number of recreational wet-slips along the Miami River, except as required by the United States Coast Guard, the Miami-Dade County Department of Regulatory and Economic Resources, or as required by other regulating agencies with appropriate jurisdiction.
- e. Owner recognizes that legally permitted existing Working Waterfront 24-hour operations currently exist proximate to the Property. Therefore, Owner agrees:
 - i. not to object or otherwise attempt to impede any legally permitted Working Waterfront 24-hour operations;
 - ii. to provide all future tenants and prospective owners of the Property notice of the existing Working Waterfront 24-hour operations and will include a provision to agree not to object to legally permitted Working Waterfront 24- hour operations in each lease and or Condominium Sale Documents, if applicable;
 - iii. that it is solely the Owner's responsibility to design its structures to accommodate legally permitted Working Waterfront 24-hour operations; and
 - iv. that it will not pursue any claims for liability, loss or damage, whether through litigation or otherwise, against permittees engaging in Working Waterfront 24-hour operations, related to, noise, smoke, fumes, federally regulated bridge openings, and/or other quality of life issues that might result from legally permitted Working Waterfront 24-hour operations.
- f. The Owner shall construct a publicly accessible Riverwalk in accordance with the Miami River Greenway Action Plan and Miami 21 Code Waterfront Standards and as consistent with the Site Plan requiring

review and approval by the City of Miami's Planning Department and the Office of Zoning.

3. Covenant Running with the Land. This Covenant on the part of the Owner shall constitute a covenant running with the land and shall be recorded by Owner within ten (10) days of acceptance by the City of Miami ("City"), at Owner's expense, in the Public Records of Miami-Dade County, Florida, and same shall remain in full force and effect and be binding upon the undersigned Owner, and its heirs, successors, and assigns until such time as the Covenant is terminated, modified, or released. These restrictions during their lifetime shall be for the benefit of, and be a limitation upon, all present and future owners of the subject Property and for the public welfare.

The provisions of this instrument shall become effective upon their recordation in the Public Records of Miami-Dade County, Florida, and shall continue in effect for a period of thirty (30) years after the date of such recordation, after which time they shall be extended automatically for successive periods of ten (10) years each, unless this Covenant, pursuant to Section 2 and Section 4 herein, is released in writing by the following: (i) then owners of the Property AND (ii) the City's Directors of the Department of Planning and the Department of Zoning subject to the approval of the City Attorney as to legal form, or their respective designees or successors.

4. Modification, Amendment, Release. This Covenant may be modified, amended, or released as to the land herein described, or any portion thereof, by a written instrument executed by the then owner(s) of the fee simple title to the Property, or any portion thereof, provided that the same is reviewed by the Miami River Commission, Planning Director and Zoning Director for an advisory recommendation and approved by the City of Miami City Commission. Should this Declaration be so modified, amended, or released, the Directors of the Departments of Planning and Zoning or the executive officer of a successor department, or their designees or successors, shall execute a written instrument effectuating and acknowledging such modification, amendment, or release, at the direction of the City Commission subject to the City Attorney, or successor or designee, as to legal form.

5. Inspection and Enforcement. It is understood and agreed that any official inspector of the City may have the right at any time during the normal working hours of the City's inspector to enter upon the Property for the purpose of investigating the use of the Property, and for determining whether the conditions of this Declaration and the requirements of the City's building and zoning regulations are being complied with. Enforcement shall be by action against any parties or person violating or attempting to violate any covenant contained herein. This enforcement provision shall be in addition to any other remedies available at law or in equity or both.

6. Election of Remedies. All rights, remedies, and privileges granted herein shall be deemed to be cumulative and the exercise of any one or more shall neither be deemed to constitute an election of remedies, nor shall it preclude the party exercising the same from exercising such other additional rights, remedies or privileges.

7. **Severability.** Invalidation of any one of these covenants by judgment of Court shall not affect any of the other provisions of this Covenant, which shall remain in full force and effect.

8. **Recording.** This Covenant shall be filed of record in the public records of Miami-Dade County, Florida at the cost of the Owner following the full approval of the Application and expiration of any appeal period. This Covenant shall become effective immediately upon recordation. Notwithstanding the previous sentence, if any appeal is filed, and the disposition of such appeal results in the denial of the Application, in its entirety, then this Covenant shall be null and void and of no further effect. Upon the disposition of an appeal that results in the denial of the Application, in its entirety, and upon written request, the Directors of the Planning and Zoning Departments, or their designees or successors, shall forthwith execute a written instrument, in recordable form, acknowledging that this Covenant is null and void and of no further effect, subject to the City Attorney, or successor or designee, as to legal form.

9. **No Vested Rights.** Nothing in this covenant shall be construed to create any vested rights whatsoever to the Owner, its successors and assigns.

[Signature Page to Follow]

APPROVED:

By: _____
Cesar Garcia Pons, Director of Planning and Zoning

APPROVED AS TO LEGAL FORM AND CORRECTNESS:

By: _____
Victoria Méndez, City Attorney

DRAFT